

# HARTSVILLE/TROUSDALE COUNTY

## PLANNING COMMISSION

### AGENDA

**Monday, March 8, 2021 | 7:00 PM | TC Courthouse | Virtual**

<https://zoom.us/> | Room ID 824 4233 9711 | Passcode: 776624

*Pursuant to Governor Lee's Executive Orders No. 16 and subsequent orders, and the need to limit the community spread of COVID-19, the March 08, 2021 HTC Planning Commission will be held with an electronic means option.*

1. Roll Call
2. Minutes of previous meeting (02-08-2021)
3. Public Hearings
  - A. Proposed Amendment to the Subdivision Regulations for Sidewalk Requirements
  - B. Proposed Amendment to the Subdivision Regulations for Cluster Mailboxes
4. Old business:
5. New business:
  - A. Final plat approval for Sulpher College Estates located at (Map 18, Parcel 4.03)
  - B. Request for Rezoning of McMurry Blvd located at (Map 19, Parcel 5.04) from C-2 to C-2/R-2. This Request for Rezoning is for the purpose of building a subdivision.
  - C. Request for Staff Approval
    1. Proposed Amendment to the Subdivision Regulations for Sidewalk Requirements
    2. Proposed Amendments to the Hartsville zoning Ordinance and Trousdale Zoning Resolution for Sidewalk Requirements
    3. Proposed Amendment to the Subdivision Regulations for Cluster Mailboxes
    4. Proposed Amendment to the Hartsville Zoning Ordinance for Cluster Mailboxes
6. Report from chairman.
7. Report from building inspector.
  - A. Building Permit numbers are staying consistent with an increase anticipated in the near future.
  - B. Complaints are continuing to be evaluated and logged. Legal actions are delayed due to the courts being closed.
8. Closing remarks from the chair and commission.
9. Adjourn

# Hartsville/Trousdale Planning Commission

## Meeting Minutes

February 8, 2021 - 7:00 P.M. – Towsdale County Courthouse – 2nd Floor Courtroom

**Present:** John Kerr, David Nollner, Rhonda Keisling, Dennis Foster, Thomas Harper, Mark Swaffer, David Thomas, Mary Ann Baker, Sam Edwards and Mayor Stephen Chambers.

**Absent:** Darrell Smith

**Others Present:** Mary Turner (GNRC), Tommy Macfarland, Harts./Trousdale Water Dist., Richard Graves (Land Surveyor) Mr. Perry – Sulphur College Estates, Charlie Dean (Harper Avenue Cottages).

### 1. Roll Call

Chairman Kerr called the meeting to order and conducted a Roll Call and advised that minute Secretary David Smith had resigned.

### 2. Minutes of previous meeting

Thomas Harper made a motion to approve the minutes of the January 11, 2021 meeting as submitted. Seconded by David Nollner. MOTION CARRIED

### 3. Old Business

None.

### 4. New Business

Chairman Kerr advised that the Minute Secretary position needed to be filled. David Nollner made a motion that Mary Ann Baker fill the position, Seconded by David Thomas. MOTION CARRIED

- A. Preliminary plat approval for Sulphur College Estates located at Map 18, Parcel 4.03 Total of 27 lots. Items discussed were the installation of a sewer system, sidewalks, cluster mailboxes, Subdivision regulations and plat issues. \* See Staff Comments from Mary Turner, GNRC attached.

David Nollner made a motion to approve the Preliminary Plat on Sulphur College Estates with variances for Block Length and Block Arrangement. Seconded by Rhonda Keisling. MOTION CARRIED

- B. Site Plan Approval – Harper Avenue Cottages subdivision located at (Map 19K Group B Parcel 024.02) Items discussed where a sewer line easement Access to the property is a private drive aisle to be built to county road standards, 8% grade on aisle, drainage from the property being rerouted to avoid the paper plant, the addition of a Fire Hydrant, Cluster mailboxes and Buffer Strips. \*See Staff Comments from Mary Turner, GNRC attached.

David Thomas made a motion to approve the site plan **WITH** a variance for the Road Access to the property, **WITHOUT** the variance for the buffer strip and the Developer to work with Trousdale County Officials regarding drainage and access road to the property. Seconded by Mark Swaffer.

MOTION CARRIED

**5. Review (discussion only items)**

1. Proposed Amendment to the Subdivision Regulations for Sidewalk Requirements  
(See Staff Comments from Mary Turner, GNRC attached)
2. Proposed Amendments to the Hartsville/zoning Ordinance and Trousdale Zoning Resolution  
(See Staff Comments from Mary Turner, GNRC attached)
3. Proposed Amendment to the Subdivision Regulations for Cluster Mailboxes.  
(See Staff Comments from Mary Turner, GNRC attached)
4. Proposed Amendment to the Hartsville Zoning Ordinance for Cluster Mailboxes.  
(See Staff Comments from Mary Turner, GNRC attached)

All planning commissioners agreed to move forward with the public hearing on the discussed Subdivision Regulations and to pass Zoning Ordinance to the County Commission by next month.

**6. Report from Building Inspector**

- \*40% increase in single family home permits in January.
- \*Building Inspections and Certificates of Completion increasing
- \*Complaints are increasing some resulting in legal action, others owner is making corrections.

**7. Closing remarks from Chair and commission**

Chairman Kerr and others expressed concern regarding this commission's recommendations being reported to the Hartsville/Trousdale County Commission. Perhaps it would benefit all involved moving forward if a specified person or a written document specifying this commissions decision could be present at County Commission meetings.

**8. ADJOURN**

David Nollner made a motion to adjourn the meeting at 9:42 P.M., Seconded by John Kerr.

MOTION CARRIED

Minutes Submitted by  
Committee Secretary  
Mary Ann Baker  
02-10-2021

STAFF COMMENTS  
HARTSVILLE TROUSDALE PLANNING COMMISSION

March 8, 2021

Mary Turner  
GNRC Regional Planner

**CALL TO ORDER**

**ROLL CALL**

**APPROVAL OF MINUTES**

Regular Meeting February 8, 2021

**PUBLIC HEARING:**

1. **Proposed Amendment to the Subdivision Regulations for Sidewalk Requirements**  
Public Hearing for the proposed amendment to the Subdivision Regulations of Hartsville/Trousdale County Tennessee, to subsection 4-103.106 Blocks and subsection 4-108 Pedestrian Ways in Article IV Article IV Requirements for Improvements, Reservations, and Design to add sidewalk requirements.
2. **Proposed Amendment to the Subdivision Regulations for Cluster Mailboxes**  
Public Hearing on the proposed amendment to the Subdivision Regulations of Hartsville/Trousdale County Tennessee, Article IV Requirements for Improvements, Reservations, and Design to add subsection 4-113 Cluster Box Units.

**OLD BUSINESS:**

None

**NEW BUSINESS:**

1. **Final Plat- Sulpher College Estates (Tax Map 18 Parcel 4.03)**  
The applicant requests final plat approval for a 27-lot subdivision located at the corner of Sulpher College Road and Highway 25 West. The property identified as Trousdale County Tax Map 18 Parcel 4.03 and consists of approximately 13.6 acres. The property is zoned R-2, Residential.

Planning Issues

The surrounding properties are zoned mostly agriculture and residential, with commercial zoning to the east in the Urban Services District area.

Zoning Issues

- a. **Zoning District Standards** (Trousdale Zoning Resolution, Article V Section 5.043)

- a. This district is intended to provide areas which are suitable for single and multiple-family residential development. This district is particularly suitable for areas adjacent or near urban areas, where an adequate public water supply or public wastewater service is available.
- b. **Bulk Standards** (Section 5.043 F)
  - a. Where public water and sanitary sewer are available the minimum lot size required for one dwelling unit is 15,000 SF.
  - b. All the proposed lots exceed 15,000 SF.

#### Subdivision Regulation Issues

Staff identifies the following items to be reviewed or considered for a variance from the Subdivision Regulations:

- a. **Blocks** (4-103.106 Blocks)
  - a. **Block Arrangement-** Blocks shall have sufficient width to provide for 2 tiers of lots of appropriate dept, but exceptions may be permitted in blocks adjacent to major public ways, railroads, or waterways.
    - i. The layout of the final plat does not provide two (2) tiers of lots.
    - ii. There is a note on the plat that states all lots on the plat shall access the interior road and won't have driveways on Highway 25 West or Sulpher College Road.
    - iii. During the preliminary plat phase, the Planning Commission issued a variance for the layout as proposed without 2 tiers of lots and with driveways accessing the interior road.
  - b. **Block Length-** Wherever practicable, blocks along arterial or collector routes shall not be less than one thousand (1,000) feet in length.
    - i. Highway 25 is an Arterial and Sulphur College Rd is a collector.
    - ii. The block lengths will be less than 1,000 ft. in length. On Hwy 25 the length is about 834 ft. and on Sulphur College Rd it is only about 188.5 ft.
    - iii. The Planning Commission issued a variance for this during the preliminary plat phase.
  - c. **Long Blocks-** The planning commission may require the reservation of an easement through the approximate center of a block over 800 feet long to accommodate utilities, drainage, facilities, and/or pedestrian traffic, where deemed essential to provide circulation or access to a school, playground, shopping center, transportation facility, or other community facility.
    - i. The length of the proposed road exceeds 800 ft.
    - ii. The Commission may consider requiring an easement to accommodate pedestrian traffic if needed to access community facilities.
    - iii. The applicant is indicating a portion of sidewalk near the proposed cluster mailbox. Staff has asked the applicant to consider extending the proposed sidewalk section to the corner of Sulpher College and the proposed Russell Perry Road.
- b. **Arrangement of Continuing and Dead-End Public Ways (4-103.109)**

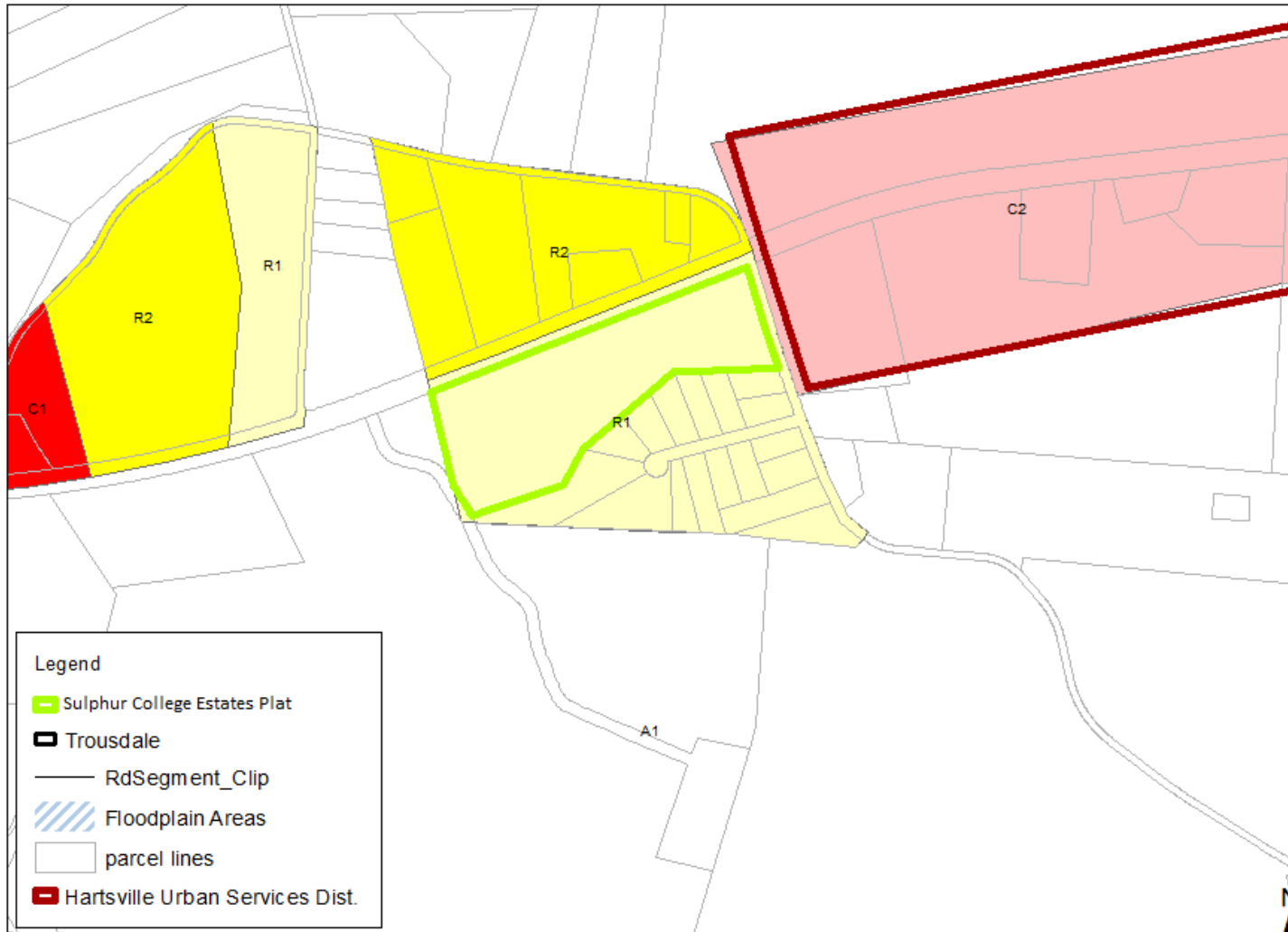
- a. **Arrangement of Continuing Public Ways-** If the adjacent property is undeveloped and the public way must be a dead-end public way temporarily, the right-of-way shall be extended to the property line. A temporary cul-de-sac, temporary T-, or L-shaped turnabout shall be provided on all temporary dead-end public ways as required in the following turnabout standards, with a notation on the subdivision plat that land outside the normal public way right-of-way shall revert to abutting property owners whenever the public way is continued.
  - i. The proposed road dead-ends at the western side of the property to allow for a possible future connection to the adjacent property.
  - ii. This dead-end will need to be a temporary turnabout that is compliant with the standards in the Subdivision Regulations. There will need to be 100' temporary right-of-way.
  - iii. A notation will need to be added that the land outside the normal public way right-of-way shall revert to abutting property owners whenever the public way is continued.
- c. **Water Facilities (4-106)**
  - a. **Fire Hydrants (4-106.2)-** Fire hydrants shall be required in all subdivisions; they shall be located no more than one thousand (1,000) feet apart and be within five hundred (500) feet of any residential, commercial, or industrial lot.
    - i. The spacing between the proposed fire hydrants is over 1,300 feet.

#### Plat Issues

Staff identifies the following items to be added or corrected.

- a. Plat Certificates, other than the Approval for Recording, need signatures.
- b. Phasing line should only remain if it is for the purpose of performance bonding.
- c. The amount and proposed period for any surety instruments needs to be provided for the Planning Commission to review.
- d. Add dates for any revisions made to the plat.
- e. If the slope of any of the proposed lots exceeds 15%, a site development plan will be required and will need Planning Commission approval for those lots prior to issuance of building permits.
- f. Clarify where sewer is being extended from to service this subdivision.
- g. The rear setback and PUDE for Lot 24 will need to be adjusted to accommodate the sewer line within the setback and easement area.
- h. The existing accessory structure on Lot 27 will be located within the setbacks and may need to receive a variance at the Board of Zoning Appeals if it is to remain. The accessory structure would be required to meet side setbacks and a 15' rear setback.
- i. The front setback line for Lots 16, 17 and 18 will need to be adjusted to meet the 100' minimum lot width requirement at the building line.
- j. Clarify if the fence shown on the plat will remain.

Staff will provide a recommendation at the meeting.



0 0.05 0.1 0.2 0.3 0.4 Miles

## 2. Rezoning Request- McMurry Boulevard, C-2 to R-2

The applicant requests rezoning from C-2, Highway Commercial District to R-2, Medium Density Residential for a portion of a property on McMurry Boulevard. The property is identified as Trousdale County Tax Map Parcel 5.04 and consists of approximately 20.08 acres and is on the south side of Highway 25 West.

### Planning Issues

The property is located on the west side of the Hartsville Urban Services District. The surrounding properties in the Urban Services district are zoned C-2 Highway Service and the adjacent properties outside the Urban Services District are A-1, Agriculture-Forestry. There is a property zoned R-3, High Density Residential on the north side of McMurry Boulevard, one parcel away to the west.

There is an 8-inch water line along McMurry Boulevard in this area. Staff has not determined if there is sewer service in this area. The property is not in a Special Flood Hazard Area and is not identified as having any significant steep slopes.

The 2000 Trousdale County Growth Plan identifies the subject property as within the Hartsville Urban Services District and a planned growth area. McMurry Boulevard is identified as an Arterial in the Major Thoroughfare Plan.

### Zoning Issues

#### a. **Zoning District Standards**

- a. (Hartsville Zoning Ordinance, 5.052 **C-2 Highway Service District**) This district is established to provide areas in which the principal uses of land are devoted to general and highway commercial activities along the principal thoroughfares in Hartsville. Regulations are designed to preserve the traffic carrying capacity of the streets and roads in Hartsville, and to provide for necessary off-street parking and loading. All lots shall be considered fronting on either arterial or collector roads as indicated on the latest official major thoroughfare plan.
- b. (Hartsville Zoning Ordinance, 5.042 **R-2, Medium Density Residential District**) This district is designed to provide suitable areas for low to medium density residential development where appropriate urban services and facilities are provided or where the extension of such services and facilities will be physically and economically facilitated. Generally, these districts are characterized by single- and two-family (duplex) detached structures and such other structures as are accessory thereto. This district also includes community facilities, public utilities and open uses which serve specifically the residents of those districts or which are benefited by and compatible with a residential environment. It is the express purpose of this zoning ordinance to exclude from these districts all buildings or other structures and uses having commercial characteristics.
- c. **Uses Permitted** (5.042 B)- Uses permitted by right in the R-2 zoning district include detached single-family and duplex dwellings, group homes, essential services, and accessory structures.
- d. **Uses Permitted by Special Exception** (5.042 D)- The following types of uses may be permitted by special exception in the R-2 zoning district- Administrative, Community Assembly, Continuing Education, Cultural and Recreational Services,

Immediate Impact Facilities, Personal and Group Care Facilities, and Religious Facilities.

e. **Bulk Standards** (Section 5.042 F)

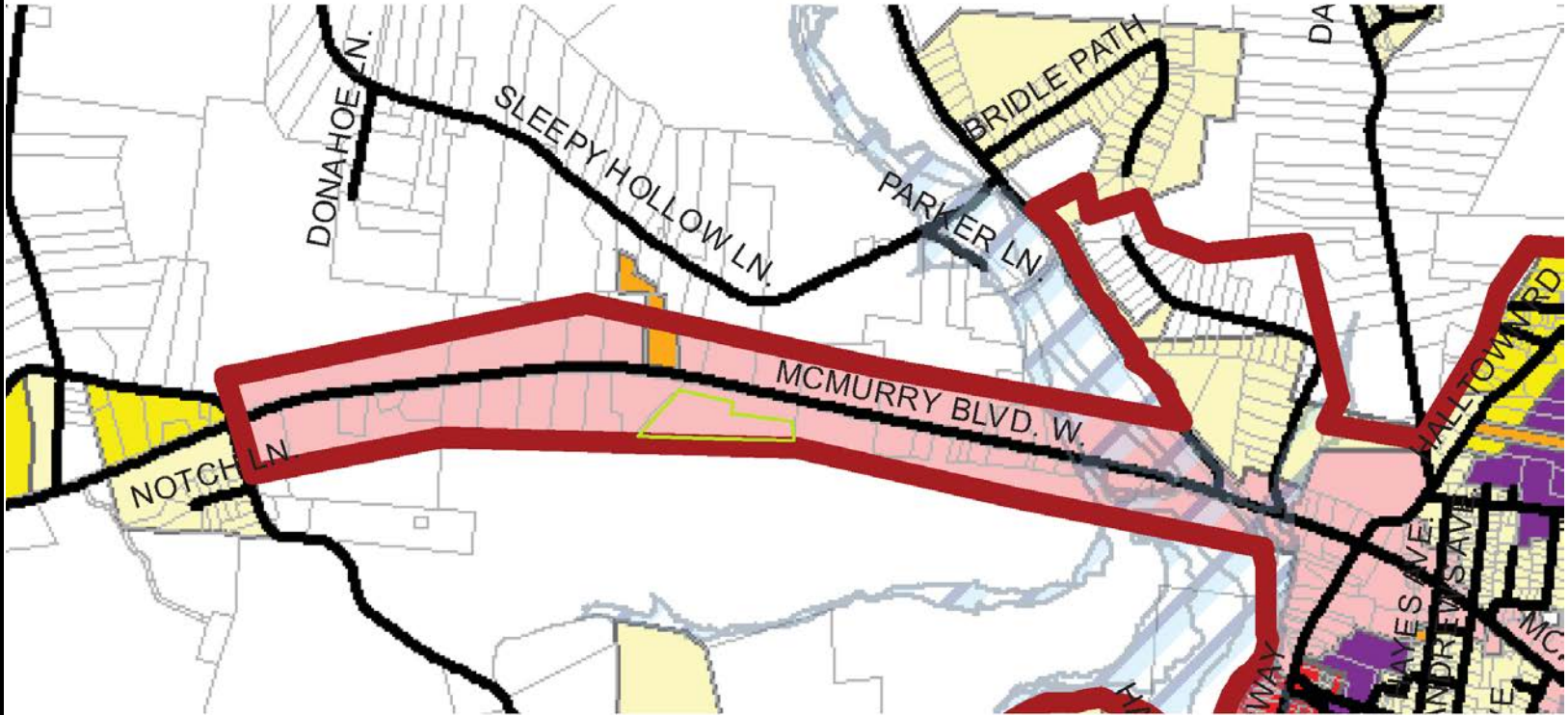
- i. The minimum lot size required for a single-family dwelling is 7,500 SF. The minimum lot size required for a duplex dwelling is 9,000 SF.
- ii. The area proposed for rezoning could fit around 48 single-family lots.

In Staff's rendering of the rezoning request, the applicant has provided an exhibit showing the intended rezoning area, which encompasses the back half of the property. The front portion of the property, fronting on McMurry Boulevard, would remain C-2, Highway Service. A legal description or plat should be provided to clarify the exact area to be rezoned prior to reading and public hearing at the County Commission.

The property is not constrained by floodplain or steep slopes.

McMurry Boulevard is an arterial. Staff has some concern about the potential for creating additional connections to arterial routes, however, this could be resolved during the platting or site planning phase as the property develops.

The C-2, Highway Service District is noted as being appropriate for major arterials, and the applicant proposes the C-2 zoning to remain at the road frontage. There is not other R-2, Medium Density Residential zoning in this area. It appears that there is water available for it to develop with the R-2 zoning. It should be confirmed that sewer is available to the property, or that it can be serviced by sewer prior to development.



**3. Proposed Amendment to the Subdivision Regulations for Sidewalk Requirements**

This is a Staff request for approval of a proposed amendment to the Subdivision Regulations of Hartsville/Trousdale County Tennessee, to subsection 4-103.106 Blocks and subsection 4-108 Pedestrian Ways in Article IV Article IV Requirements for Improvements, Reservations, and Design to add sidewalk requirements.

The proposed amendment is included on the following pages.

All proposed additions are indicated by **highlights** and proposed omissions are indicated by ~~strike-through~~.

Subdivision Regulations Amendment No. \_\_

A PROVISION TO AMEND THE SUBDIVISION REGULATIONS OF HARTSVILLE/TROUSDALE COUNTY TENNESSEE, SECTION 4-103 PUBLIC WAYS, SUBSECTION 4-103.106 BLOCKS AND SECTION 4-108 PEDESTRIAN WAYS IN ARTICLE IV REQUIREMENTS FOR IMPROVEMENTS, RESERVATIONS, AND DESIGN TO ADD SIDEWALK REQUIREMENTS.

**WHEREAS**, the following changes have been approved and recommended by the Hartsville/Trousdale Planning Commission; and

**WHEREAS**, a public hearing thereon has been held as required by law; and

**NOW, THEREFORE BE IT RESOLVED** by the Hartsville/Trousdale County Planning Commission, Hartsville/Trousdale, Tennessee:

That the following amendment to the Subdivision Regulations of Hartsville/Trousdale County, Tennessee be enacted:

**4-103.106 Blocks**

- e. In any long block, the planning commission may require the reservation of an easement through the block to accommodate utilities, drainage, facilities, and/or pedestrian traffic.

A pedestrian walkway, not less than ten (10) feet wide, may be required by the planning commission through the approximate center of any block more than eight hundred (800) feet long **in said easement**, where deemed essential to provide circulation or access to a school, playground, shopping center, transportation facility, or other community facility.

**4-108 Pedestrian Ways**

**4-108.1 Sidewalks along New Streets**

**Sidewalks shall be required along all streets constructed in all subdivisions, excluding alleys and those streets proposed for industrial use. Sidewalks may not be required along rural streets when all lots fronting such streets are 40,000 square feet or larger in size and have average road frontage of 150 feet or more.**

**4-108.2 Sidewalks along Existing Streets**

Sidewalks shall be required along an existing public street when sidewalks presently exist upon property that directly adjoins the proposed subdivision or are included within a plan for pedestrian ways.

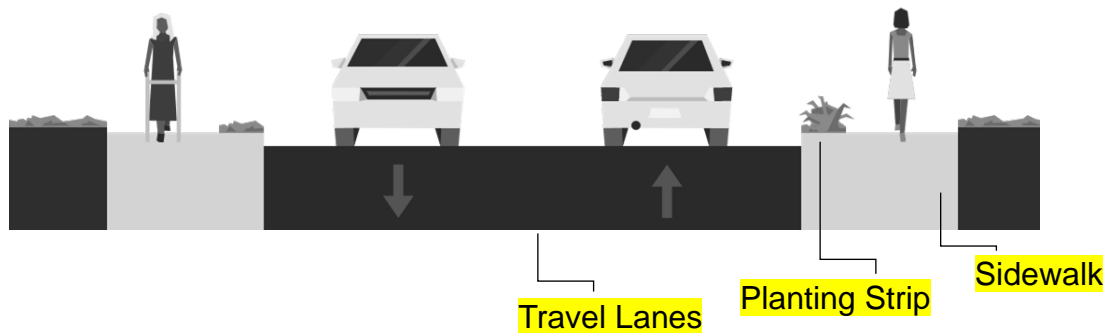
**4-108.1 Sidewalks and Bicycle Paths 4-108.3 Location of Sidewalks and Bicycle Paths**

Sidewalks shall be required along both sides of all residential subdivision streets. Sidewalks shall be required along both sides of streets designated as collectors. Transition of sidewalks from one side of a street to another may be permitted when topography makes continuation along the same side of the street impractical. Transitions shall only be made at street intersections. Sidewalks and bicycle paths, where required by the planning commission, shall be included within the dedicated nonpavement right-of-way of all public ways as indicated in the following table and shall be improved as required by Subsection 4-103.4, of these regulations. Concrete curbs are required for all public ways where sidewalks are to be constructed. A median planting strip of grassed or landscaped area as indicated in the following table shall separate all sidewalks from adjacent curbs, except within ten feet of intersections where no grass strip will be required.

**4-108.4 Sidewalk Width**

The width of sidewalks and width of planting strip shall be as follows. Width of sidewalk shall be exclusive of encroachments such as utility poles, fire hydrants, parking meters, sign standards, street furniture, etc.

<u>Class of Street</u>	<u>Sidewalk Width</u>		<u>Planting Strip</u>
	<u>Residential Public Way</u>	<u>Nonresidential Public Way (Industrial, Commercial; Other)</u>	<u>Residential and Nonresidential</u>
<u>Minor Public Way</u>	<u>5 feet wide</u>	<u>6 feet wide</u>	<u>2 feet wide</u>
<u>Collector Public Way</u>	<u>5 feet wide</u>	<u>6 feet wide</u>	<u>5 feet wide</u>
<u>Arterial Public Way</u>	<u>5 feet wide</u>	<u>6 feet wide</u>	<u>5 feet wide</u>



**4-108.5 Alternative Pedestrian Ways**

Within cluster residential developments approved under section 4.070 of the Trousdale Zoning Resolution, the Planning Commission may approve pedestrian walkways at locations other than along the rights-of-way of streets. Within these developments a system of pedestrian walkways may be located within commonly held open space.

**4-108.2 4-108.6 Pedestrian Accesses**

The planning commission may require, in order to facilitate pedestrian access from the public way to schools, parks, playgrounds, or other nearby public ways, perpetual unobstructed easements at least twenty (20) feet in width. Easements shall be indicated on the plat.

Public hearing held on \_\_\_\_\_, 2021.

Adopted by the Hartsville/Trousdale Planning Commission on \_\_\_\_\_, 2021.

\_\_\_\_\_  
Chairman, Hartsville/Trousdale Planning Commission

\_\_\_\_\_  
Secretary, Hartsville/Trousdale Planning Commission

**4. Proposed Amendments to the Hartsville zoning Ordinance and Trousdale Zoning Resolution for Sidewalk Requirements**

This is a Staff request for a recommendation of approval of proposed amendments to the Hartsville Zoning Ordinance Article III, Section 3.120 Pedestrian Circulation and Article IV, Section 4.070 Development Standards for Group Housing Projects and to the Trousdale County Zoning Resolution Article III, Section 3.010 Pedestrian Circulation and Article IV, Section 4.070 Cluster Residential Development (Subdivided) to add sidewalk requirements.

These proposed amendments to the Hartsville Zoning Code and Trousdale Zoning Resolution will require two readings and a public hearing at the County Commission following the recommendation from the Planning Commission.

The proposed amendments are included on the following pages.

**PROPOSED AMENDMENT**  
**HARTSVILLE ZONING ORDINANCE**

- **HIGHLIGHT DENOTES PROPOSED ADDITION**
- **STRIKETHROUGH DENOTES OMISSION**

**Article III, Section 3.120 PEDESTRIAN CIRCULATION**

Planning for safe, comfortable, and pleasant movement of pedestrians in and through sites on sidewalks is important for the health of Hartsville Trousdale County. Circulation Plans shall address pedestrian circulation in accordance with the following standards:

- A. All commercial, industrial, multifamily, and mixed-use development shall provide a network of onsite pedestrian walkways to and between the following areas:
1. Entrances to each building on the site, including pad site buildings;
  2. Public sidewalks or walkways on adjacent properties;
  3. Along public rights-of way that extend to the boundaries shared with the subject development when sidewalks presently exist upon property that directly adjoins the subject development, or are included within a plan for pedestrian ways;
  4. Adjacent public transit station areas, transit stops, park and ride facilities, or other transit facilities;
  5. Adjacent parks, trails, schools, and recreation centers; and
  6. Adjacent non-residential development, as determined by the Planning Commission.

B. Sidewalks Required

Sidewalk construction shall be required for all new developments unless an exception is issued by the Planning Commission.

C. Exceptions to Sidewalk Requirements

The Planning Commission may consider and issue an exception to sidewalk requirements when justification is provided for not including sidewalks such as

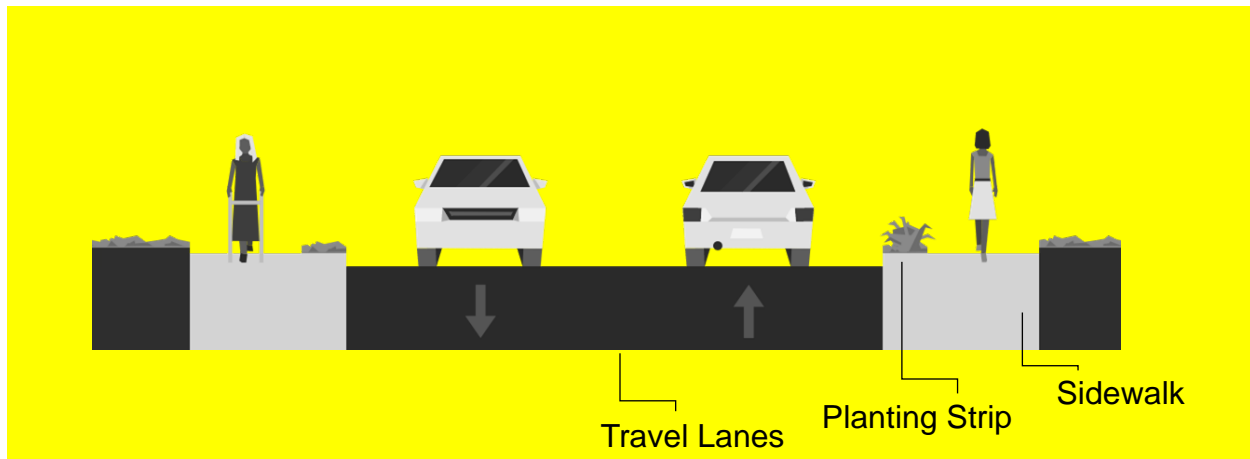
1. Topography;
2. Absence of surrounding uses that may generate pedestrian activity, such as schools, major employers, transit stops, government offices, hotels, and public housing;
3. Lack of intensity of surrounding residential development; and
4. Lack of proximate sidewalk infrastructure to tie into.

D. Sidewalk Standards

Sidewalks when required shall comply with the following requirements:

1. Shall be constructed in accordance with the following table;

Class of Street	Sidewalk Width		Planting Strip
	Residential Public Way	Nonresidential Public Way (Industrial, Commercial; Other)	Residential and Nonresidential
Minor Public Way	5 feet wide	6 feet wide	2 feet wide
Collector Public Way	5 feet wide	6 feet wide	5 feet wide
Arterial Public Way	5 feet wide	6 feet wide	5 feet wide



2. Pedestrian paths for internal use or connecting to a larger trail system may be 4 feet wide;
3. The minimum sidewalk width per (1) shall be exclusive of encroachments such as utility poles, fire hydrants, parking meters, sign standards, street furniture, etc.;
4. Sidewalks along public ways shall be installed at the back of the right-of-way with a strip of grassed or landscaped planting area, in accordance with the table in (1), separating all sidewalks from adjacent curbs, except within ten feet of intersections where no grass strip will be required. In such locations where site constraints do not permit the required grass area per the table in (1), the Planning Commission may allow a reduced setback of the sidewalk. Such relief shall be the minimum deviation that will make possible the reasonable use of the site.;
5. Pedestrian paths shall be distinguishable from traffic lanes by painted markings, pavement material, texture, or raised in elevation (striped asphalt does not count); and
6. Shall have adequate lighting for security and safety.

## Article IV, Section 4.070 Development Standards for Group Housing Projects

### 4.072 Required Development Standards

#### E. Required Improvements

1. **Internal Drives:** Specifications for drives in group housing developments shall conform to roadway specifications as specified by the Hartsville/Trousdale County Planning Commission Subdivision Regulations to which reference is hereby made and incorporated herein by reference.
2. **Utilities:** The development shall be served with a public utility system adequate to assure fire protection and removal of liquid waste via a central sewage collection and treatment facility.
3. **Storage of Solid Waste:** Any central refuse disposal area shall be maintained in such manner as to meet county health requirements and shall be screened from view.
4. **Service Building:** Service buildings housing laundry, sanitation, or other facilities for use by occupants shall be permanent structures complying with all applicable codes.
5. **Sidewalks:** Sidewalks shall be provided in accordance with section 3.1120 for convenient and safe access to all living units from streets, driveways, parking courts or garages and for convenient circulation and access to all facilities.

**PROPOSED AMENDMENT**  
**TROUSDALE COUNTY ZONING RESOLUTION**

- **HIGHLIGHT DENOTES PROPOSED ADDITION**
- **STRIKETHROUGH DENOTES OMISSION**

**Article III, Section 3.010 PEDESTRIAN CIRCULATION**

Planning for safe, comfortable, and pleasant movement of pedestrians in and through sites on sidewalks is important for the health of Hartsville Trousdale County. Circulation Plans shall address pedestrian circulation in accordance with the following standards:

- A. All commercial, industrial, multifamily, and mixed-use development shall provide a network of onsite pedestrian walkways to and between the following areas:
1. Entrances to each building on the site, including pad site buildings;
  2. Public sidewalks or walkways on adjacent properties;
  3. Along public rights-of way that extend to the boundaries shared with the subject development when sidewalks presently exist upon property that directly adjoins the subject development, or are included within a plan for pedestrian ways;
  4. Adjacent public transit station areas, transit stops, park and ride facilities, or other transit facilities;
  5. Adjacent parks, trails, schools, and recreation centers; and
  6. Adjacent non-residential development, as determined by the Planning Commission.

**B. Sidewalks Required**

Sidewalk construction shall be required for all new developments unless an exception is issued by the Planning Commission.

**C. Exceptions to Sidewalk Requirements**

The Planning Commission may consider and issue an exception to sidewalk requirements when justification is provided for not including sidewalks such as

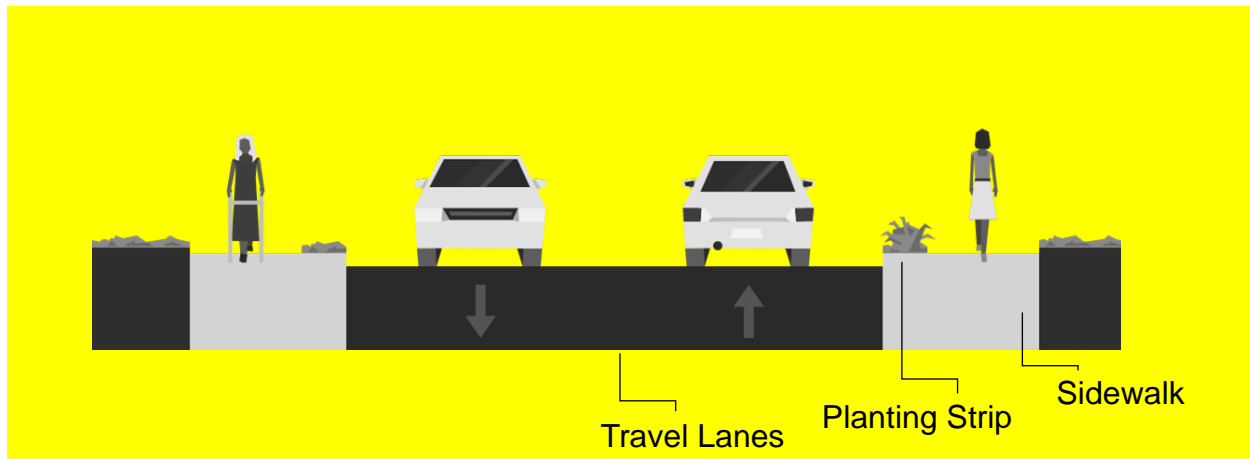
1. Topography;
2. Absence of surrounding uses that may generate pedestrian activity, such as schools, major employers, transit stops, government offices, hotels, and public housing;
3. Lack of intensity of surrounding residential development; and
4. Lack of proximate sidewalk infrastructure to tie into.

**D. Sidewalk Standards**

Sidewalks when required shall comply with the following requirements:

1. Shall be constructed in accordance with the following table;

Class of Street	Sidewalk Width		Planting Strip
	Residential Public Way	Nonresidential Public Way (Industrial, Commercial; Other)	Residential and Nonresidential
Minor Public Way	5 feet wide	6 feet wide	2 feet wide
Collector Public Way	5 feet wide	6 feet wide	5 feet wide
Arterial Public Way	5 feet wide	6 feet wide	5 feet wide



2. Pedestrian paths for internal use or connecting to a larger trail system may be 4 feet wide;
3. The minimum sidewalk width per (1) shall be exclusive of encroachments such as utility poles, fire hydrants, parking meters, sign standards, street furniture, etc.;
- a. Sidewalks along public ways shall be installed at the back of the right-of-way with a strip of grassed or landscaped planting area, in accordance with the table in (1), separating all sidewalks from adjacent curbs, except within ten feet of intersections where no grass strip will be required. In such locations where site constraints do not permit the required grass area per the table in (1), the Planning Commission may allow a reduced setback of the sidewalk. Such relief shall be the minimum deviation that will make possible the reasonable use of the site.;
4. Pedestrian paths shall be distinguishable from traffic lanes by painted markings, pavement material, texture, or raised in elevation (striped asphalt does not count); and
5. Shall have adequate lighting for security and safety

**Article IV, Section 4.070 CLUSTER RESIDENTIAL DEVELOPMENT (SUBDIVIDED)**

A. Procedure for Approval

1. Initial Sketch and Consultation

Before preparing a formal proposal for cluster residential development, the applicant shall submit five (5) copies of a sketch of the proposed development to the Planning Commission as a basis for reaching general agreement on major aspects of the project. The sketch shall indicate, at a scale no smaller than 1" = 200':

- **boundaries and acreage of the site**
- **number and building types of dwelling units**
- **arrangement of streets, sidewalks and pedestrian ways, structures, and lots**

**5. Proposed Amendment to the Subdivision Regulations for Cluster Mailboxes**

This is a Staff request for approval of a proposed amendment to the Subdivision Regulations of Hartsville/Trousdale County Tennessee, Article IV Requirements for Improvements, Reservations, and Design to add subsection 4-113 Cluster Box Units.

The proposed amendment is included on the following pages.

All proposed additions are indicated by **highlights** and proposed omissions are indicated by ~~strike-through~~.

Subdivision Regulations Amendment No. \_\_

A PROVISION TO AMEND THE SUBDIVISION REGULATIONS OF HARTSVILLE/TROUSDALE COUNTY TENNESSEE, ARTICLE IV REQUIREMENTS FOR IMPROVEMENTS, RESERVATIONS, AND DESIGN TO ADD SUBSECTION 4-113 CLUSTER BOX UNITS.

**WHEREAS**, the following changes have been approved and recommended by the Hartsville/Trousdale Planning Commission; and

**WHEREAS**, a public hearing thereon has been held as required by law; and

**NOW, THEREFORE BE IT RESOLVED** by the Hartsville/Trousdale County Planning Commission, Hartsville/Trousdale, Tennessee:

That the following amendment to the Subdivision Regulations of Hartsville/Trousdale County, Tennessee be enacted:

**4-113 Cluster Box Units**

During a new residential development's design and planning phase, developers and builders are required by the United States Postal Service to notify the local Postal Service. Developers and builders should plan for basic or customized Centralized Mail Delivery Installations for residential communities.

The layout and design of centralized delivery must meet the requirements of the United States Post Office and adhere to the regulations in this section.

**4-113.01 Cluster Box Unit Regulations**

1. Installation of cluster box units, hereinafter CBUs, as well as any associated improvements (e.g. shelters, lighting, and other related amenities), hereinafter CBU related improvements, shall be the responsibility of the developer.
2. Approval and installation of all CBU related improvements must be completed prior to the initial final plat being recorded for developments creating residential building lots.
3. The establishment of a homeowners' association is required in developments with CBU related improvements. Maintenance of all CBU related improvements shall be the responsibility of the homeowners' association.
4. CBU related improvements not part of any designated amenity area shall be on their own lot. Lot area does not have to meet the minimum area of the district,

nor do typical setbacks or lot frontage apply. The Lot shall be labeled unbuildable and be assigned a lot number.

5. CBU related improvements shall be prohibited within the public right-of-way or in any utility easement unless written permission is granted by the easement holder.

6. CBU related improvements shall not obstruct vision at street intersections as required in Hartsville Zoning Ordinance section 3.080 and Trousdale Zoning Resolution Section 3.050, and as determined by the enforcing officer.

7. A site plan for the CBUs shall be submitted simultaneous with preliminary plat submittal for review and approval. Site plans for CBUs shall include the following elements:

- a. Proposed landscaping.
- b. Proposed lighting. Lighting provided at such facilities shall be designed so that no direct light falls on adjacent residential property.
- c. Sidewalks or pedestrian ways. Sidewalks or pedestrian ways shall be designed to provide safe access to CBUs and associated amenities consistent with 4-103.106 and 4-108 of these regulations.
- d. Parking: These improvements shall be in areas that will best allow for vehicle stacking or parking without creating pedestrian safety or vehicle safety issues. Access and parking shall be designed consistent with these regulations and regulations in Hartsville Zoning Ordinance section 3.090 or Trousdale Zoning Resolution 3.060, respectively. Required parking shall be provided according to the chart below:

Number of Lots/Mailboxes	Parking Spaces Required
50 or fewer	2
51 to 100	3
101 to 200	4
201 and above	5

Parking spaces may be provided in a dedicated parking area or within a bulb-out along the right-of-way, subject to approval by the enforcing officer. CBU related improvements that are in designated amenity areas may utilize the off-street parking provided. Parking areas and access to the CBUs shall be compliant with current Americans with Disabilities Act (ADA) standards.

8. CBUs and associated improvements shall be exempt from the normal setback requirements prescribed in this Ordinance.

9. CBUs and associated improvements must be installed according to USPS standards and must meet all applicable building and fire codes.

10. Address numbering on each dwelling unit and corresponding mailbox shall comply with the adopted building code for Hartsville/Trousdale County. A monument, pole, or other sign depicting the street address is also strongly encouraged.

Public hearing held on \_\_\_\_\_, 2021.

Adopted by the Hartsville/Trousdale Planning Commission on \_\_\_\_\_, 2021.

---

Chairman, Hartsville/Trousdale Planning Commission

---

Secretary, Hartsville/Trousdale Planning Commission

**6. Proposed Amendment to the Hartsville Zoning Ordinance for Cluster Mailboxes**

This is a Staff request for a recommendation of approval for a proposed amendment to the Hartsville Zoning Ordinance Article IV, Section 4.070 Development Standards for Group Housing Projects to add requirements for cluster mailboxes.

This proposed amendment to the Hartsville Zoning Code will require two readings and a public hearing at the County Commission following the recommendation from the Planning Commission.

The proposed amendment is included on the following pages.

**PROPOSED AMENDMENT**  
**HARTSVILLE ZONING ORDINANCE**

- **HIGHLIGHT DENOTES PROPOSED ADDITION**
- **STRIKETHROUGH DENOTES OMISSION**

**Article IV, Section 4.070 DEVELOPMENT STANDARDS FOR GROUP HOUSING PROJECTS**

**4.072 Required Development Standards**

The following shall apply to all developments subject to this provision:

**B. Required Improvements**

1. **Internal Drives:** Specifications for drives in group housing developments shall conform to roadway specifications as specified by the Hartsville/Trousdale County Planning Commission Subdivision Regulations to which reference is hereby made and incorporated herein by reference.
2. **Utilities:** The development shall be served with a public utility system adequate to assure fire protection and removal of liquid waste via a central sewage collection and treatment facility.
3. **Storage of Solid Waste:** Any central refuse disposal area shall be maintained in such manner as to meet county health requirements and shall be screened from view.
4. **Service Building:** Service buildings housing laundry, sanitation, or other facilities for use by occupants shall be permanent structures complying with all applicable codes.
5. **Sidewalks:** Sidewalks shall be provided in accordance with section 3.1120 for convenient and safe access to all living units from streets, driveways, parking courts or garages and for convenient circulation and access to all facilities.
6. **Cluster Box Units (CBUs):** During a new residential development's design and planning phase, developers and builders are required by the United States Postal Service to notify the local Postal Service. Developers and builders should plan for basic or customized Centralized Mail Delivery Installations for residential communities, such as CBUs. The layout and design of centralized delivery must meet the requirements of the United States Post Office and receive approval from the enforcing officer.



DATE: 02/22/2021

REVISIONS

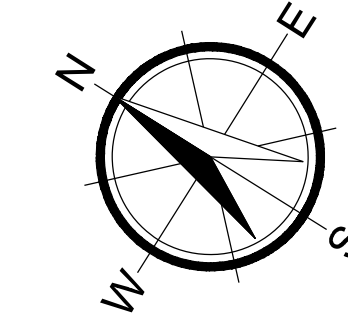
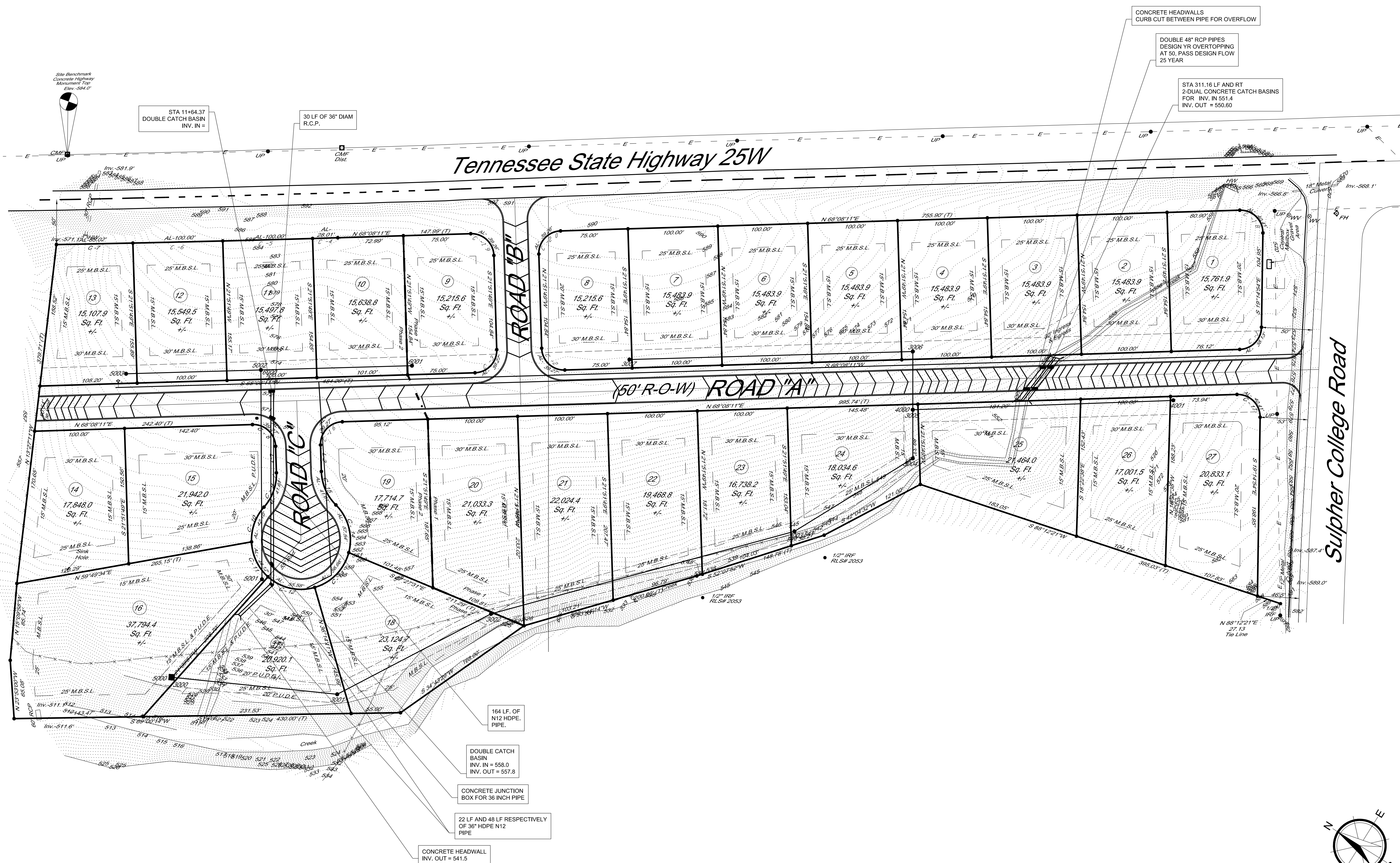


SITE PLAN  
 SUBMITTAL

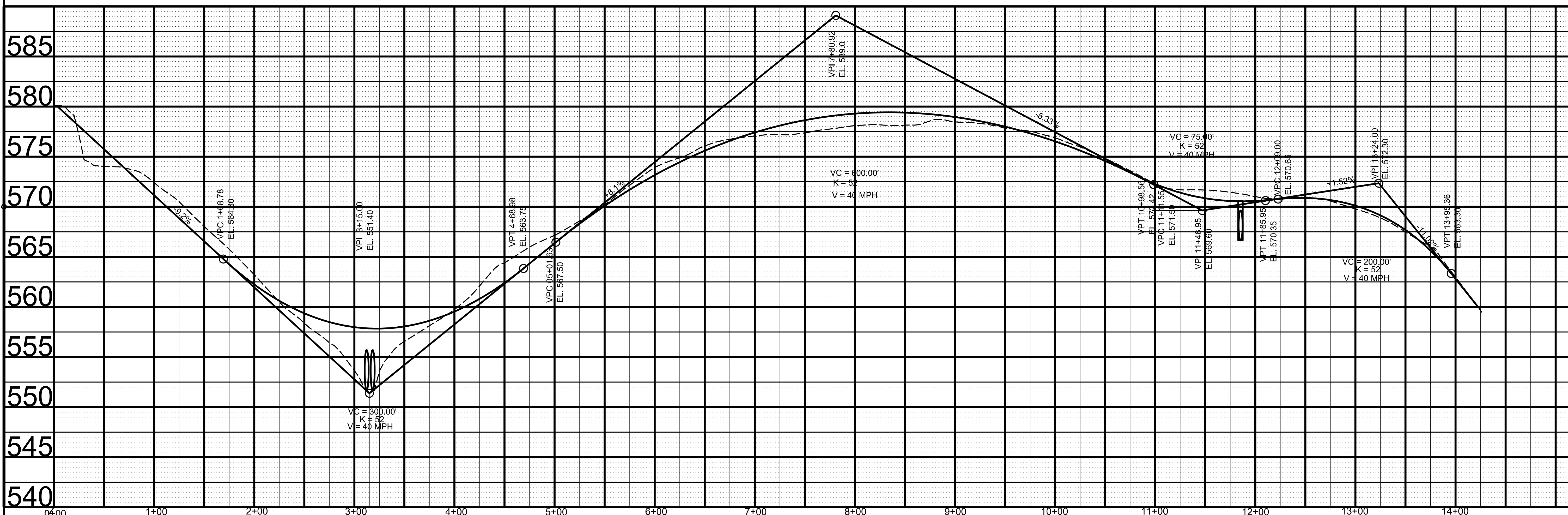
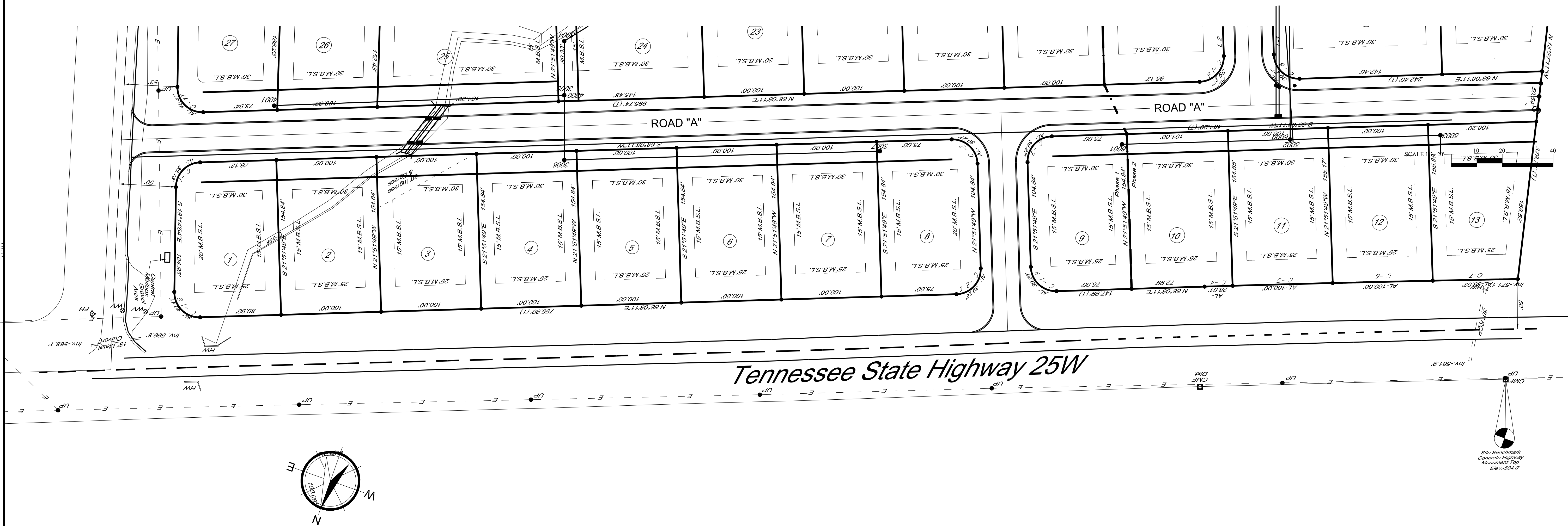
BCG JOB NO. 022221

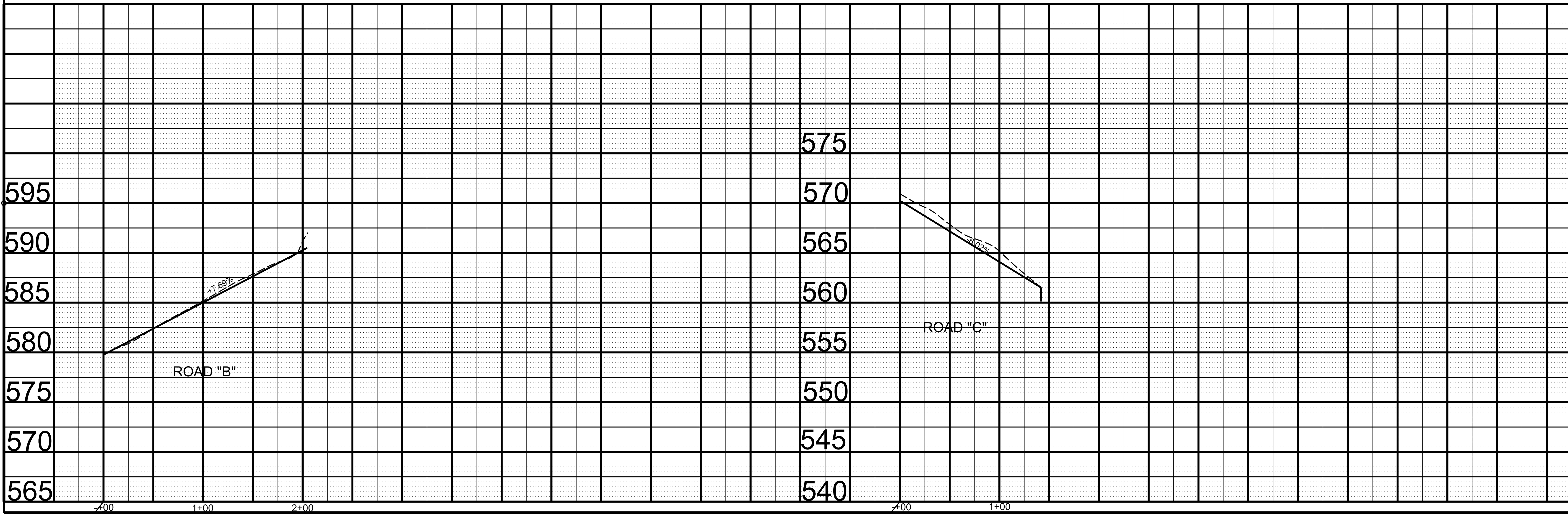
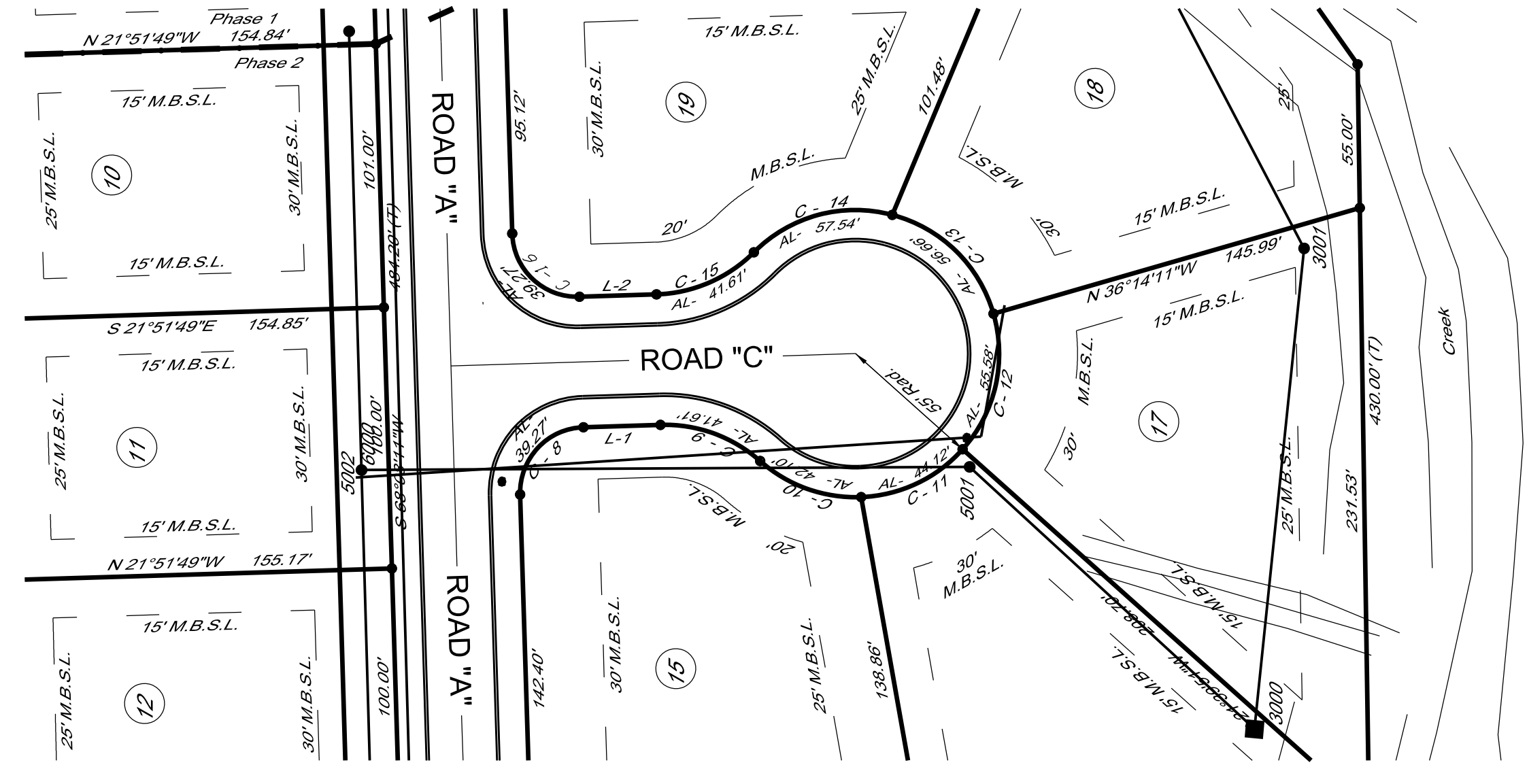
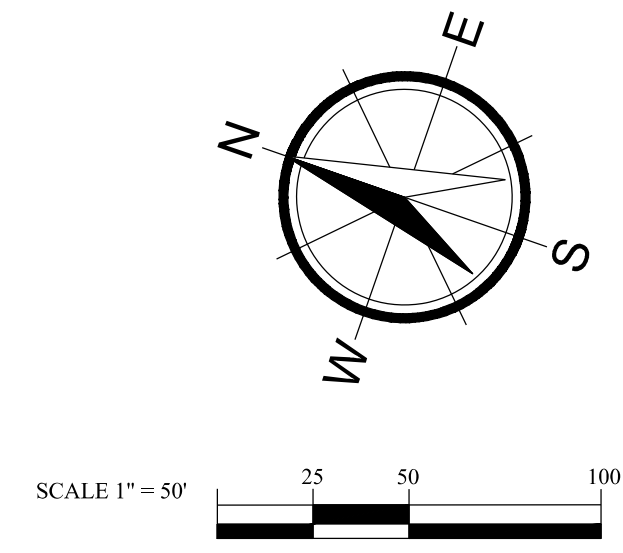
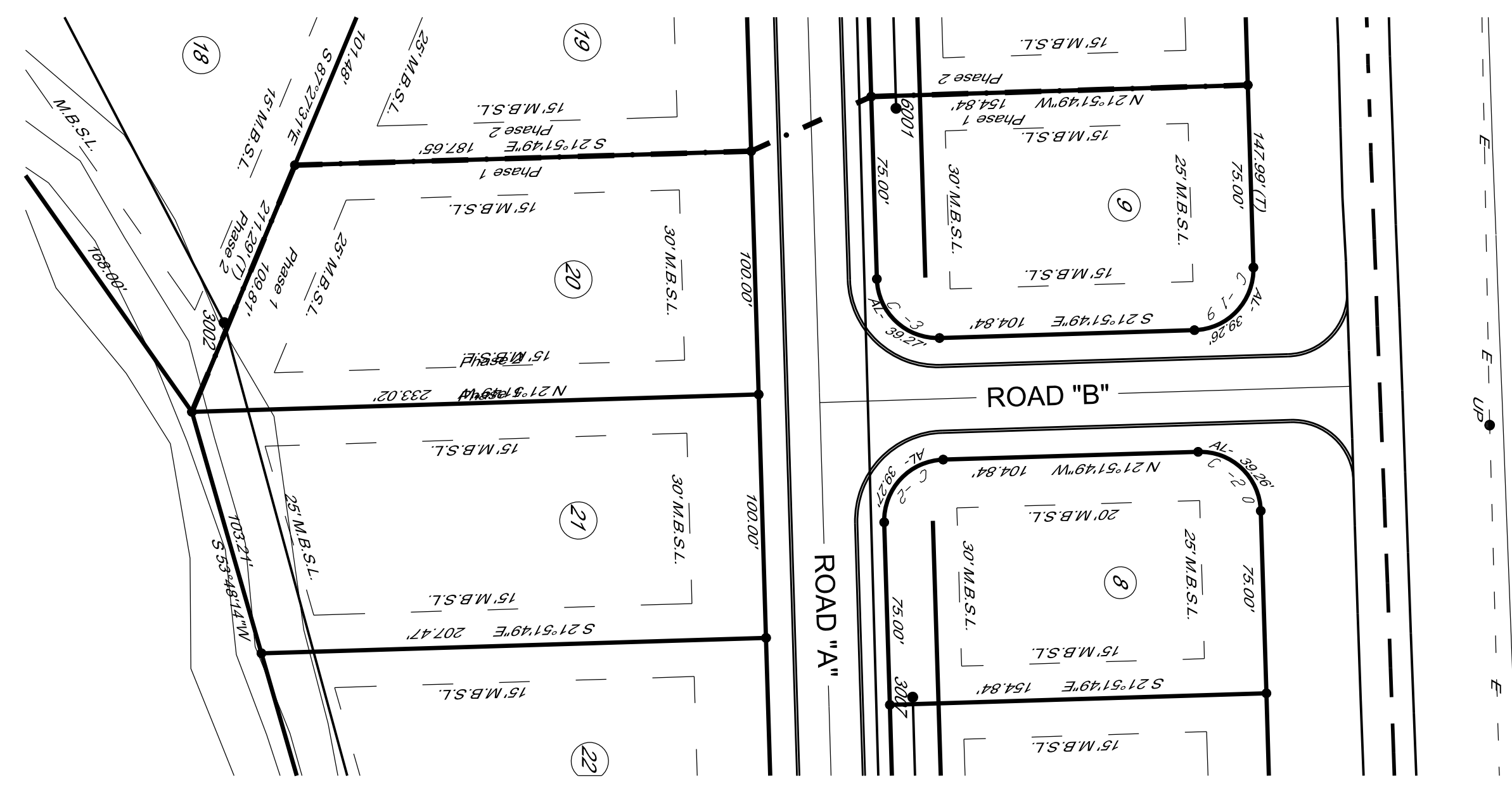
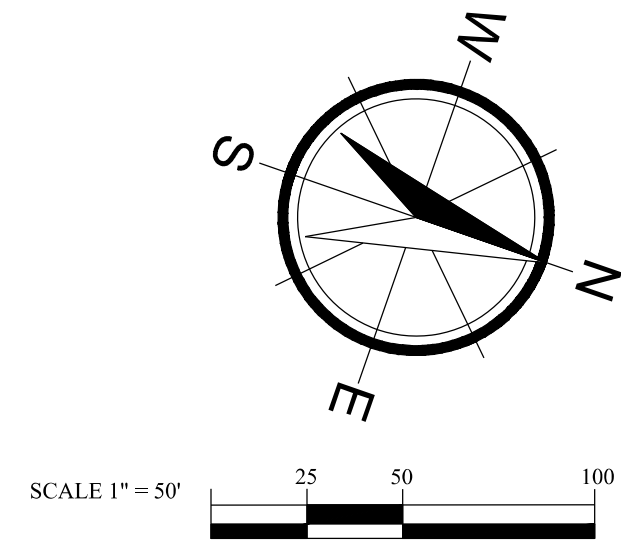
GRADING &  
 DRAINAGE PLAN

**C2.0**



SCALE 1" = 50'





**BCG**  
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CIVIL, STRUCTURAL, ENGINEERING

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CONSTRUCTION DRAWINGS  
SULPHER COLLEGE ESTATES  
MCMURRAY BLVD. &  
SULPHER COLLEGE ROAD  
HARTSVILLE, TN 37074

DATE: 02/22/2021  
REVISIONS



SITE PLAN  
SUBMITTAL  
BCG JOB. NO. 022221  
ROAD "B & C"  
PROFILE

**C4.0**

**INITIAL STAGE SEQUENCE NOTES**

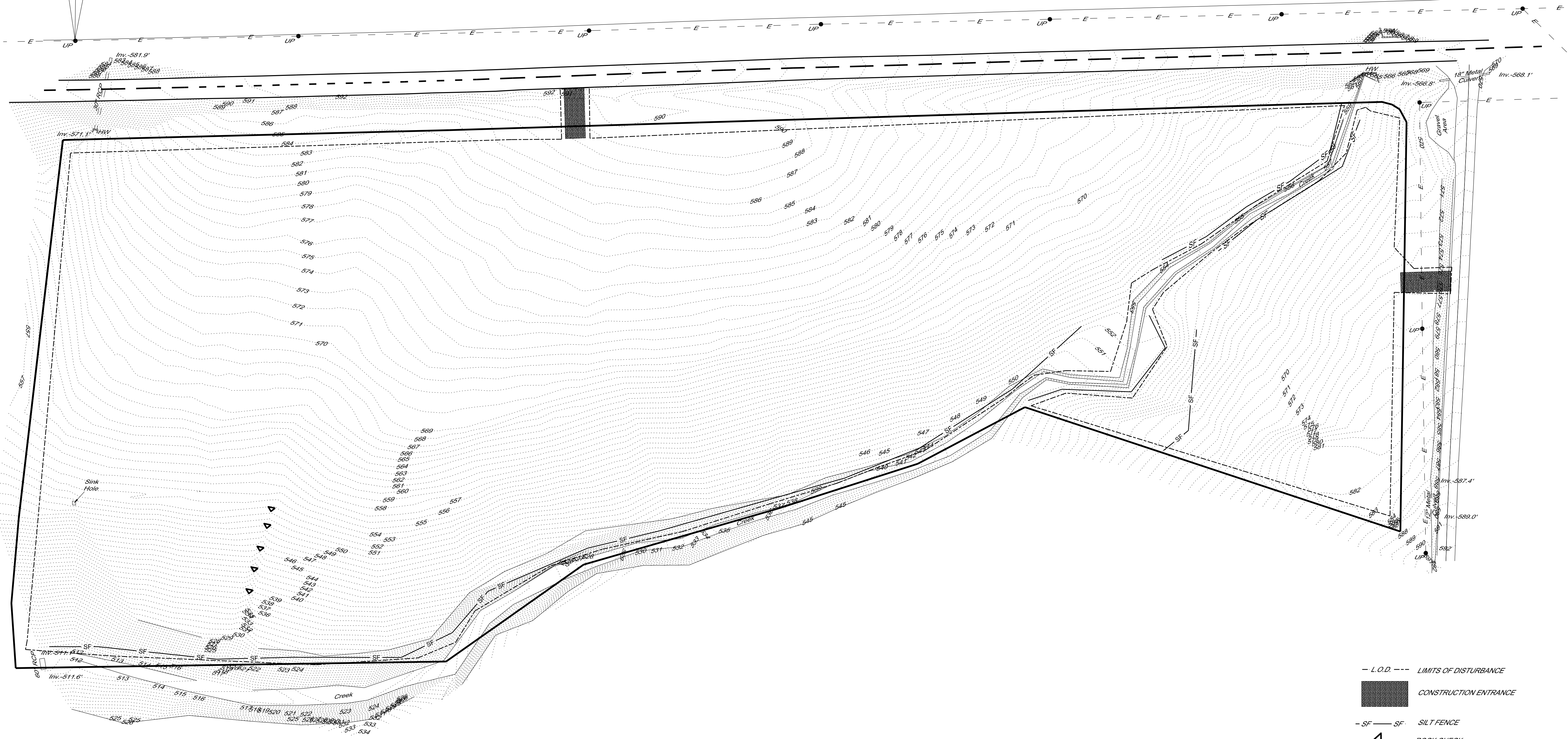
- 1.) Install Stabilized construction exit. This will be the first construction work on the project
- 2.) Install Silt Fence
- 3.) Clear and grub the area to construct the rock checks.
- 4.) Apply Seeding and Matting and install Rock Check Dams in swales.

**EROSION CONTROL NOTES**

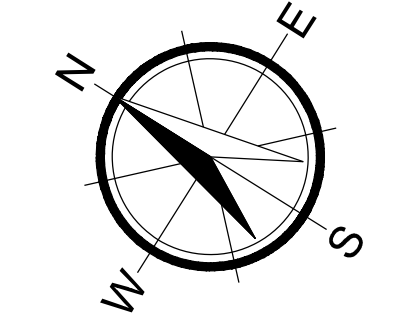
- 1.) Erosion Control Devices shall be installed and maintained in accordance with TDEC's Erosion and Sediment Control Handbook and TDEC's Construction Activity Permit requirements. The devices shown on the drawings are the minimum required. The contractor shall provide additional erosion control devices as needed.
- 2.) Erosion and Sediment Control measures must be installed prior to disturbance of existing ground cover. They must remain in place and function throughout the construction period.
- 3.) Apply temporary seeding whenever grading operations are temporary halted for over 14 days and final grading of exposed surfaces is to be completed within one year. Apply temporary seeding to steep slopes (greater than equal to 3:1) Whenever grading operations are temporarily halted for over 7 days and final grading of exposed surfaces is to be completed within one year. Apply temporary seeding to soil stockpiles.
- 4.) Apply permanent seeding whenever grading operations are completed and all construction operations will not impact the disturbed area. Apply permanent seeding to all non-construction areas that show excessive erosion.
- 5.) Permanent seeding shall be drought tolerant. Hybrid Kentucky 31 (Jaguar, Lancer, Rebel II, Falcon II, etc.) Seed at a rate of 6 to 8 lbs per /1000 sq-ft. Use a slow release starter fertilizer with 1 lbs/1000 sq-ft of Nitrogen. If grading is performed during the winter months, seed mixture shall be supplemented with a winter rye or other appropriate mixture to assure stabilization during the winter season.
- 6.) Mulch with straw at a rate of 100 lbs/1000 sq-ft over the seeded areas.
- 7.) If the action of vehicles traveling over the gravel construction exit is not sufficient to remove the majority of dirt or mud, then the tires must be washed before the vehicles enter a public road. If washing is used, provisions must be made to intercept the wash water and trap the sediment before it is carried off the site.

- 8.) All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm drains must be removed immediately.
- 9.) The contractor is responsible for the installation and maintenance of site construction pollution prevention controls throughout the life of the project.
- 10.) Upon complete stabilization of the site, silt fences and other temporary silt barriers shall be removed or otherwise prevented from becoming a pollutant source for storm water discharges.
- 11.) Current versions of this Storm Water Pollution Prevention Plan, The Notice of Intent, and the Notice of Coverage shall be kept on the site for the duration of the project.
- 12.) All undisturbed areas including and wetland buffers, shall be field marked and kept free of construction equipment.

Site Benchmark  
Concrete Highway  
Manhole Top  
Elev. 584.0'



--- L.O.D. --- LIMITS OF DISTURBANCE  
 [Shaded Box] CONSTRUCTION ENTRANCE  
 -SF- SF SILT FENCE  
 [Triangle] ROCK CHECK

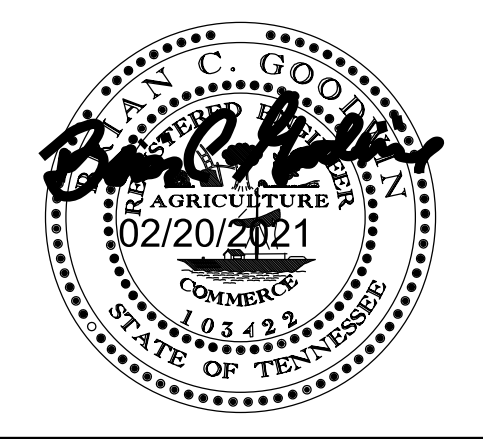


SCALE 1" = 50'

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CONSTRUCTION DRAWINGS  
**SULPHER COLLEGE ESTATES**  
 MCMURRAY BLVD. &  
 SULPHER COLLEGE ROAD  
 HARTSVILLE, TN 37074



**Tennessee**  
Know what's below.  
Call before you dig.

SITE PLAN  
SUBMITTAL

BCG JOB NO. 022221

ESPC  
INITIAL

**EPSC1**

### INTERMEDIATE STAGE SEQUENCE NOTES

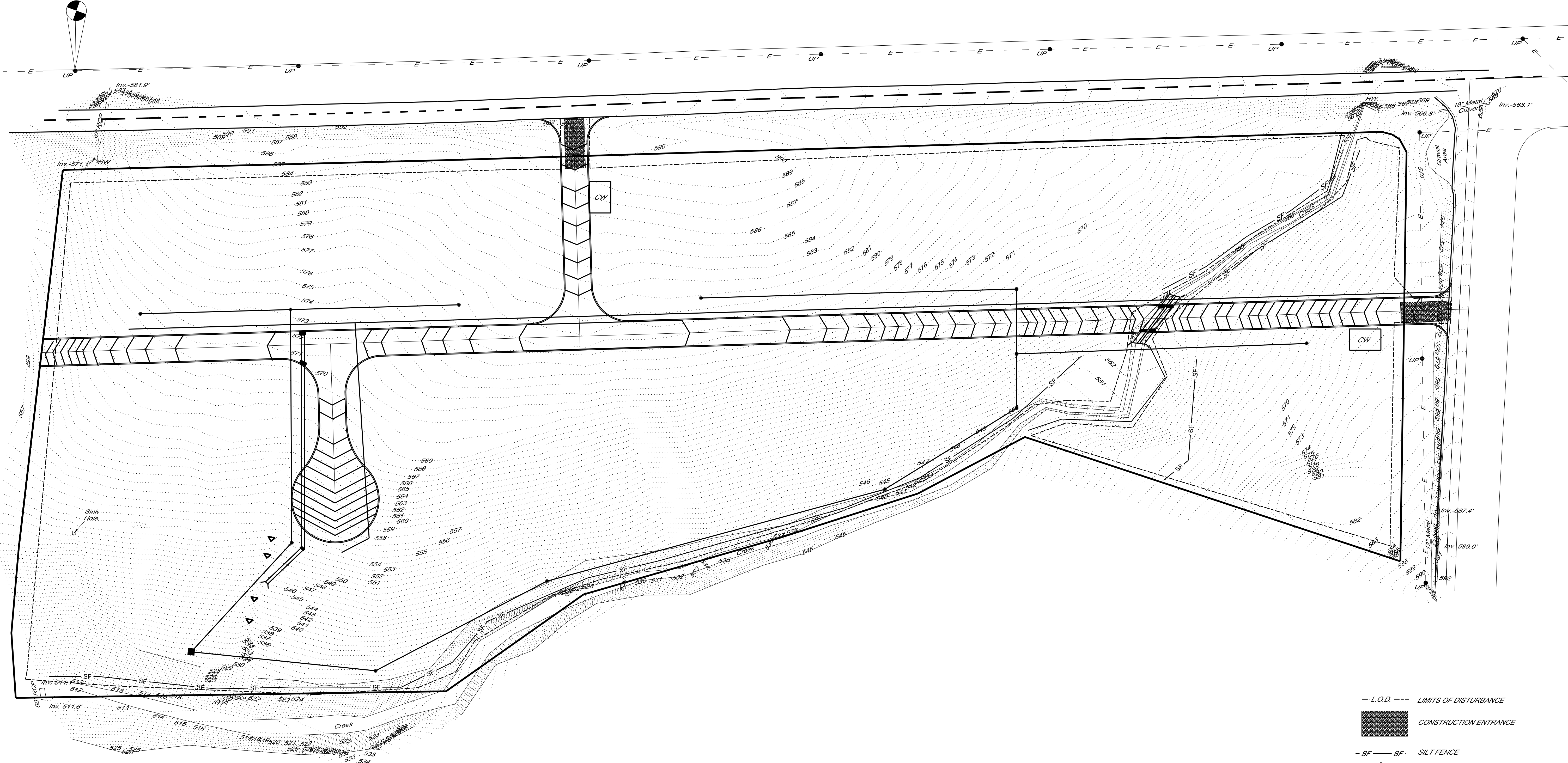
- 1.) Full construction activities are in process. Maintain Stabilized construction exits on the project.
- 2.) Install Concrete Washouts
- 3.) Adjust Silt Fence as necessary.
- 4.) Stabilize Soil Stockpiles
- 5.) Road and Utility Work are nearing completion
- 6.) Drainage Catch Basins and Curb Construction is nearing Completion

### EROSION CONTROL NOTES

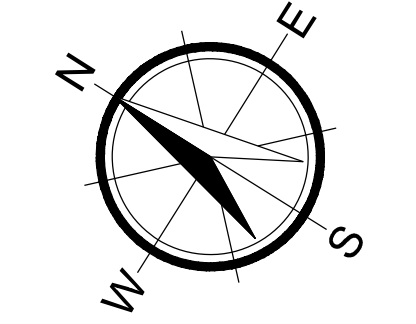
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- 12.) All undisturbed areas including and wetland buffers, shall be field marked and kept free of construction equipment.

Site Benchmark  
Concrete Highway  
Manhole Top  
Elev. 584.0'



- L.O.D. - LIMITS OF DISTURBANCE
- CONSTRUCTION ENTRANCE
- SF - SILT FENCE
- ◁ ROCK CHECK
- CURB INLET PROTECTION
- CW CONCRETE WASHOUT



SCALE 1" = 50'

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CONSTRUCTION DRAWINGS  
SULPHER COLLEGE ESTATES  
MCMURRAY BLVD. &  
SULPHER COLLEGE ROAD  
HARTSVILLE, TN 37074



SITE PLAN  
SUBMITTAL

BCG JOB. NO. 022221

ESPC  
INTERMEDIATE

**EPSC2**

**FINAL STAGE SEQUENCE NOTES**

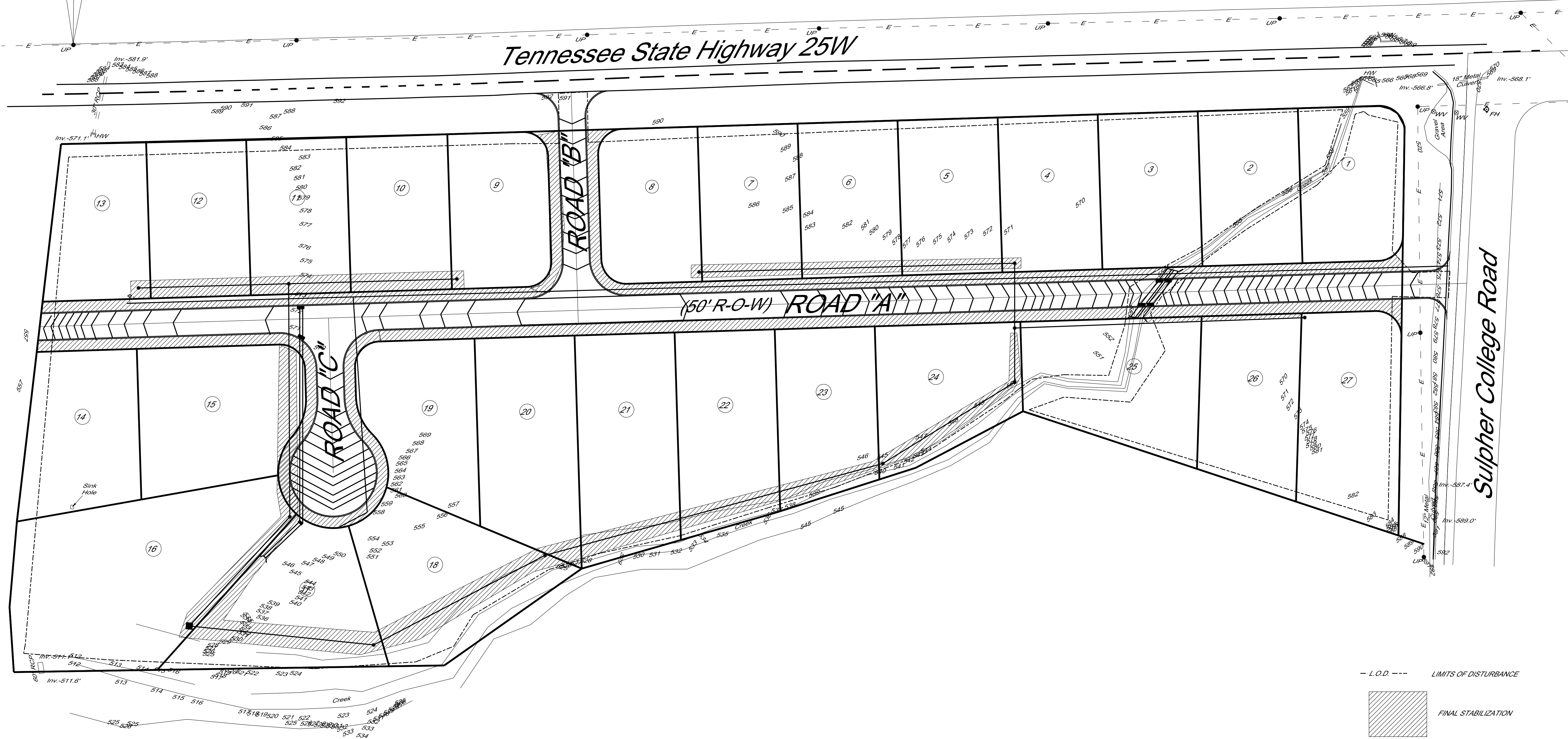
- 1.) Construction activities are complete
- 2.) construction exits have been removed and have their final toppings
- 3.) Concrete Washouts Are Removed
- 4.) Home Construction is complete, with final grading of yard and stabilized
- 5.) Stormwater Facilities are in place and have final stabilization
- 6.) Road, Sidewalk, and Utility Construction is complete
- 7.) Final Road Paving has begun

**EROSION CONTROL NOTES**

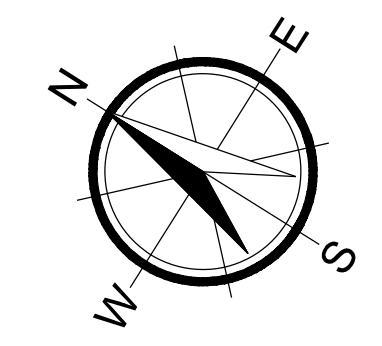
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- 12.) All undisturbed areas including wetland buffers, shall be field marked and kept free of construction equipment.

Site Benchmark  
Concrete Highway  
Measurement Post  
Elev. -584.0'



--- L.O.D. --- LIMITS OF DISTURBANCE  
 FINAL STABILIZATION



SCALE 1" = 50'

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CONSTRUCTION DRAWINGS  
**SULPHER COLLEGE ESTATES**  
 McMurray Blvd. &  
 Sulpher College Road  
 HARTSVILLE, TN 37074



SITE PLAN  
SUBMITTAL

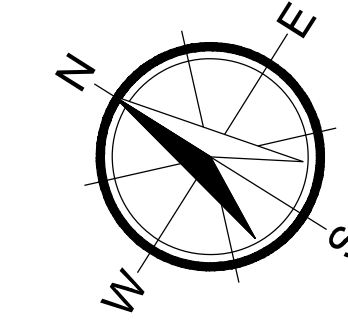
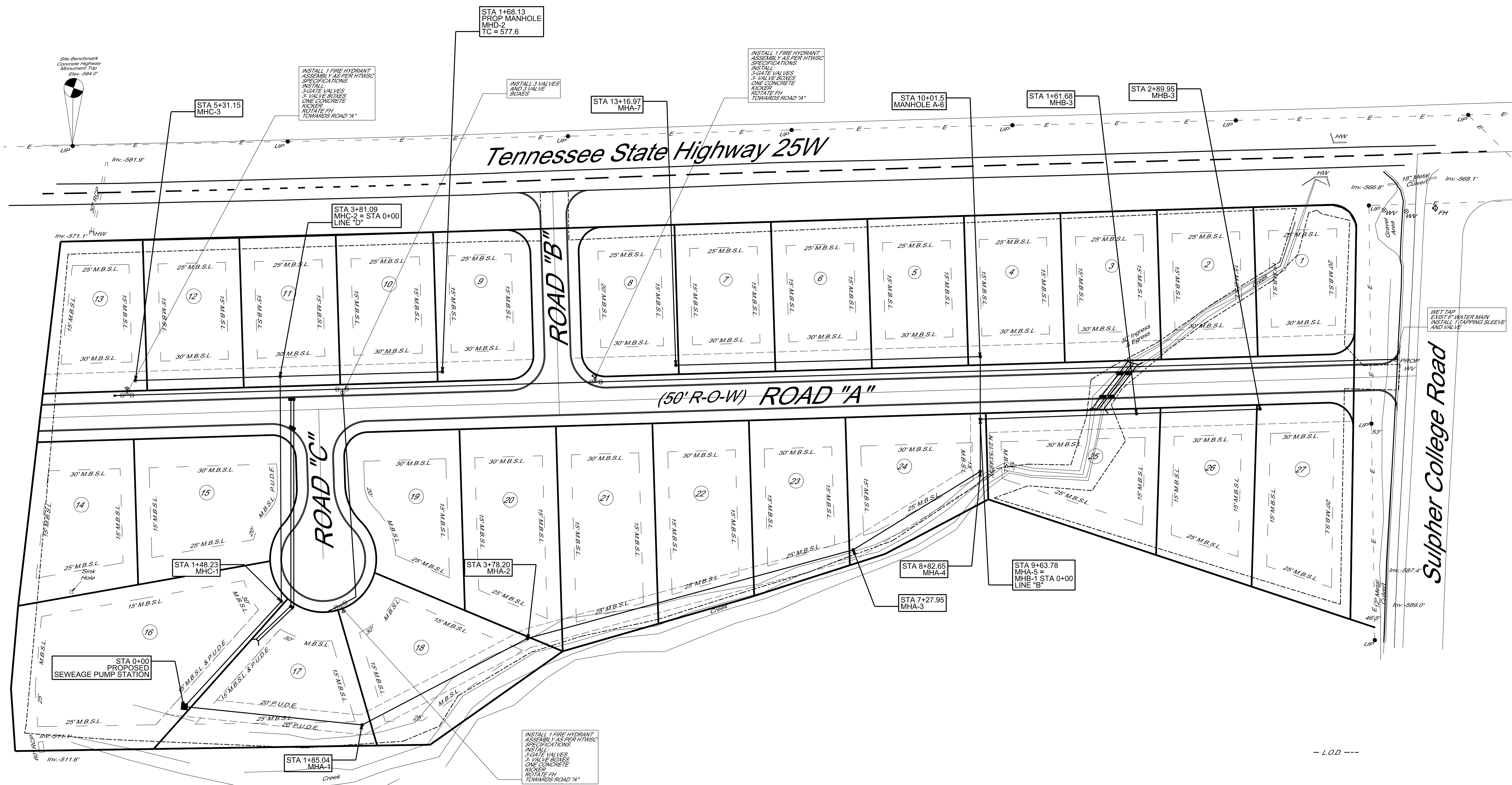
BCG JOB. NO. 022221

ESPC  
FINAL

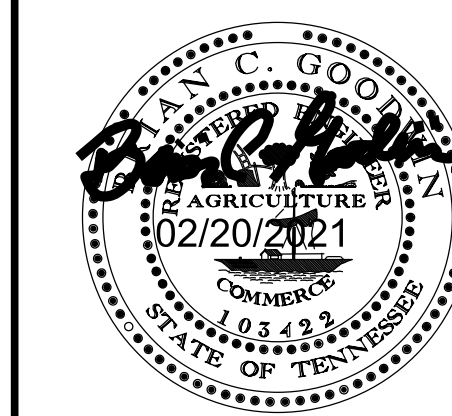
**EPSC3**







SCALE 1" = 50'



SITE PLAN  
 SUBMITTAL

BCG JOB NO. 022221

UTILITY  
 LAYOUT

**U1**

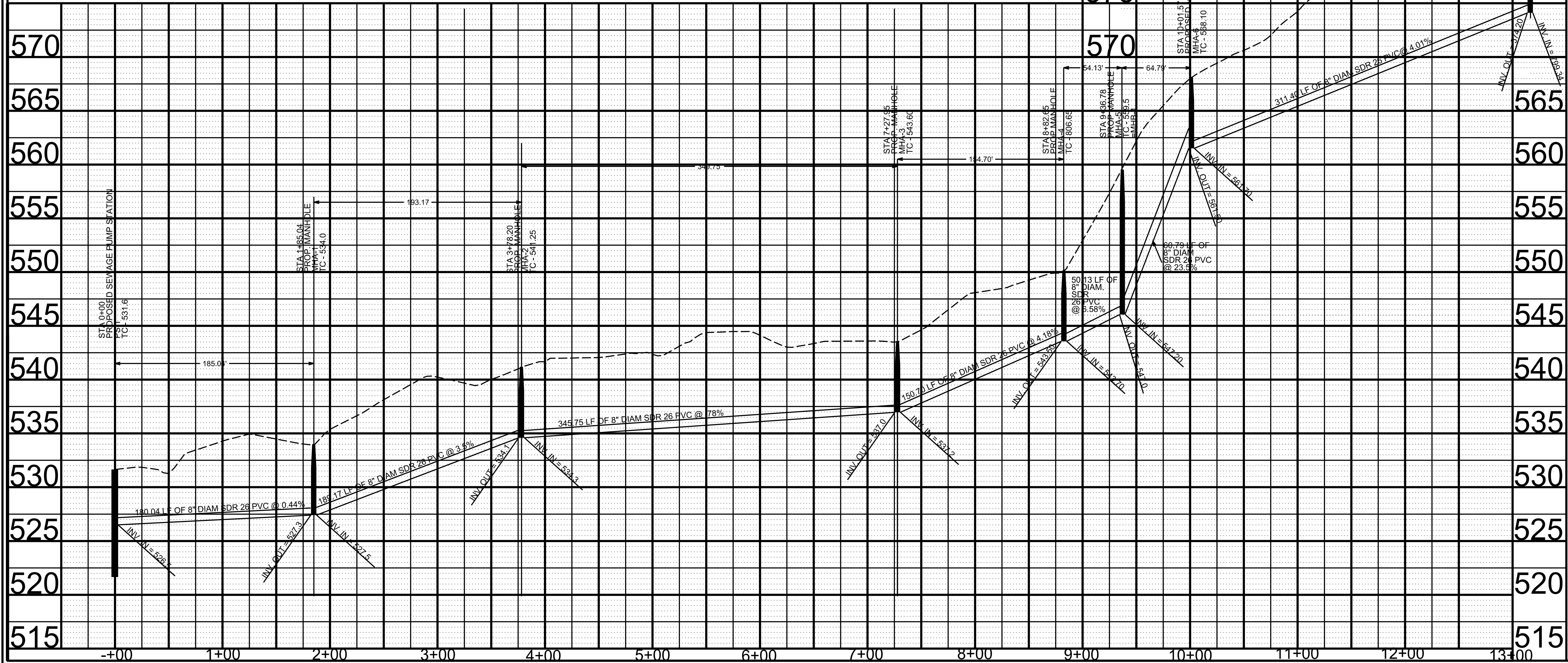
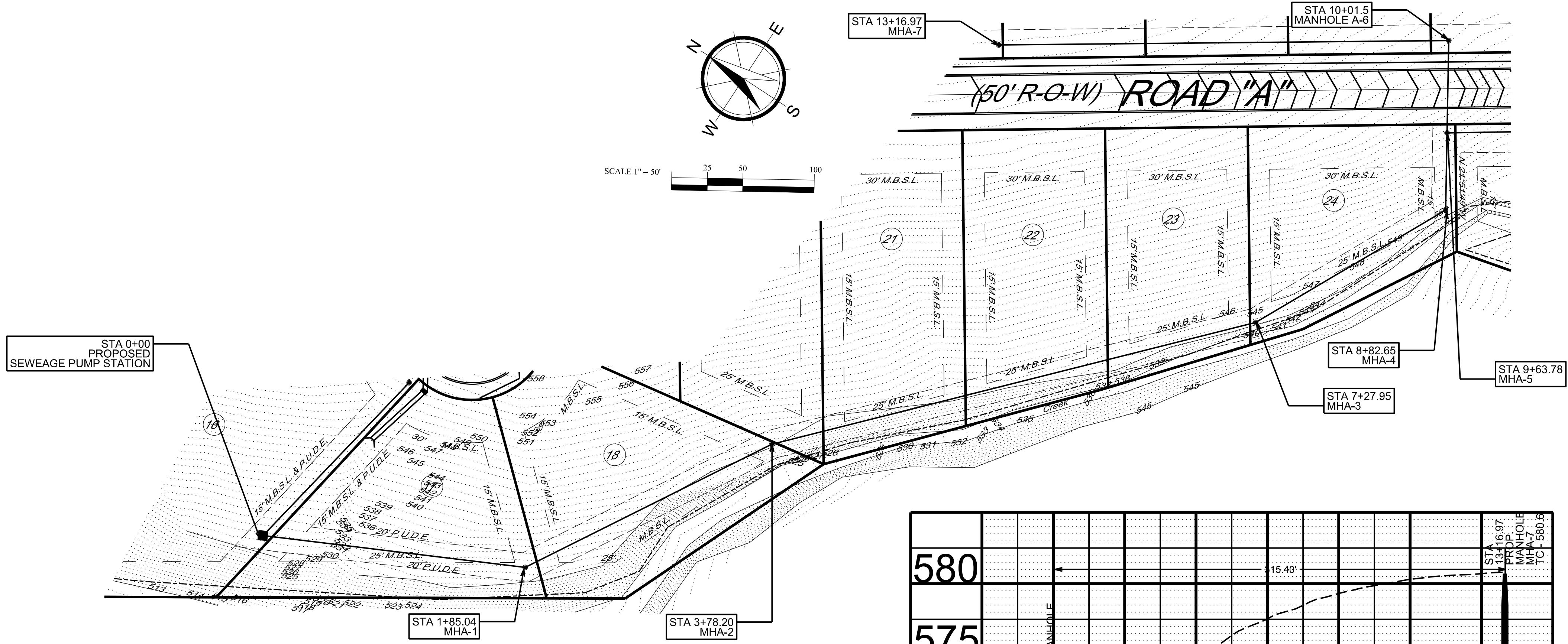
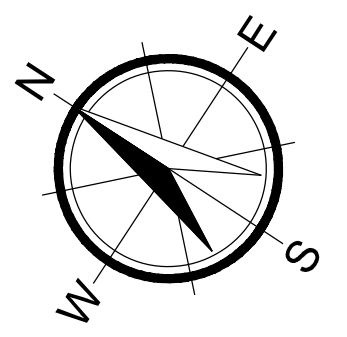
**GENERAL UTILITY NOTES:**

- 1) ALL SEWER EXTENSIONS AND ASSOCIATED APPURTENANCES SHALL BE INSTALLED AS PER THE HARTSVILLE-TROUSDALE WATER AND SEWER UTILITY DISTRICT STANDARD SPECIFICATIONS.
- 2) ALL SEWER EXTENSIONS TESTED AS PER THE HARTSVILLE-TROUSDALE WATER AND SEWER UTILITY DISTRICT (HTWSD) STANDARD SPECIFICATIONS INCLUDING VACUUM TESTING MANHOLES AND GRAVITY MAINS SHALL HAVE LOW PRESSURE TEST AND MANDREL TEST.

**HARTSVILLE TROUSDALE WATER AND SEWER UTILITY DISTRICT**

THESE PLANS HAVE BEEN APPROVED FOR CONSTRUCTION BY:

DIRECTOR OF PORTLAND DEPT. OF UTILITIES Date:



**BCG Engineering**  
CIVIL STRUCTURAL ENGINEERING

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**CONSTRUCTION DRAWINGS**  
**SULPHUR COLLEGE ESTATES**  
MCMURRAY BLVD. &  
SULPHUR COLLEGE ROAD  
HARTSVILLE, TN 37074

DATE: 02/20/2021  
REVISIONS



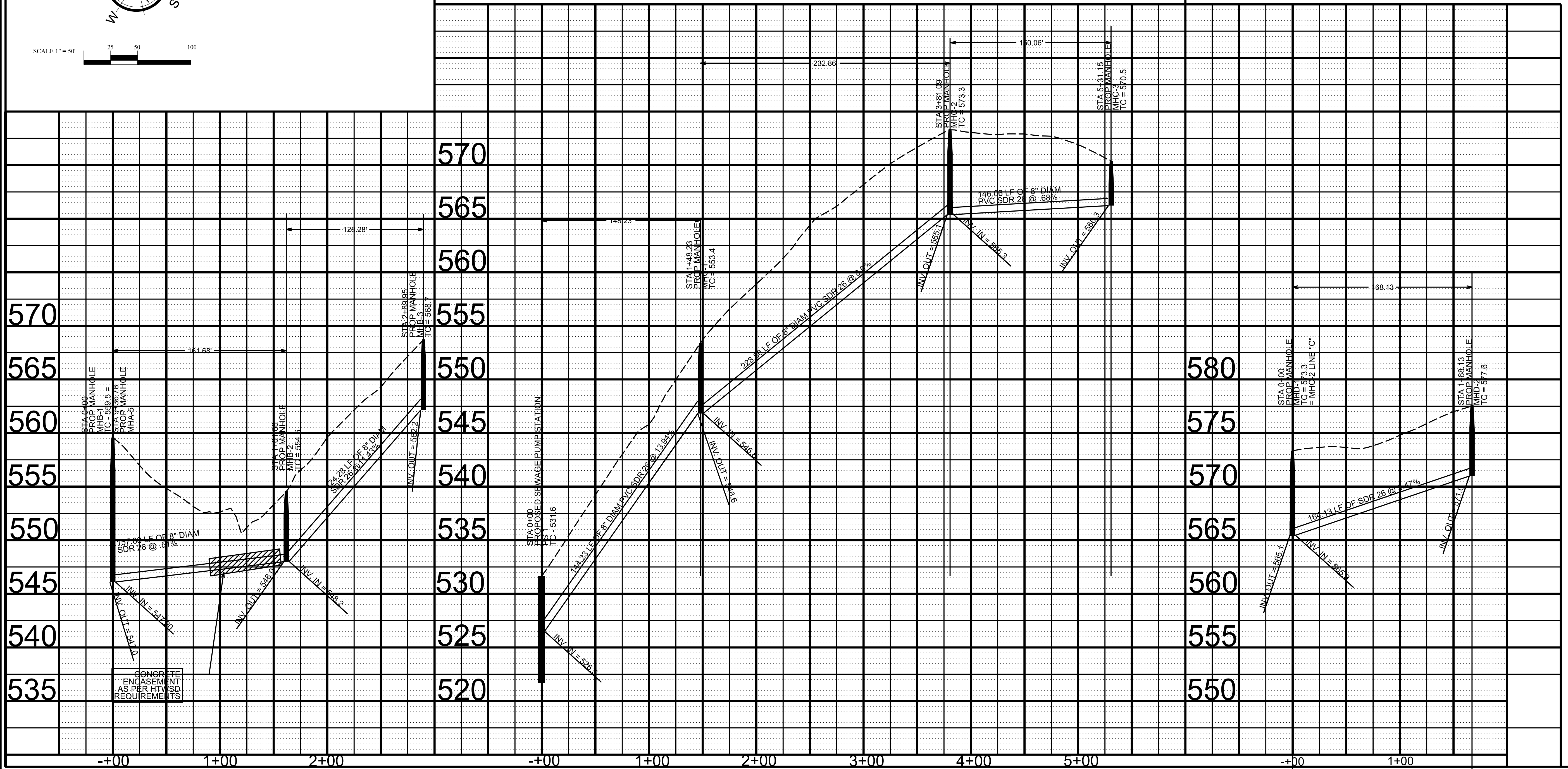
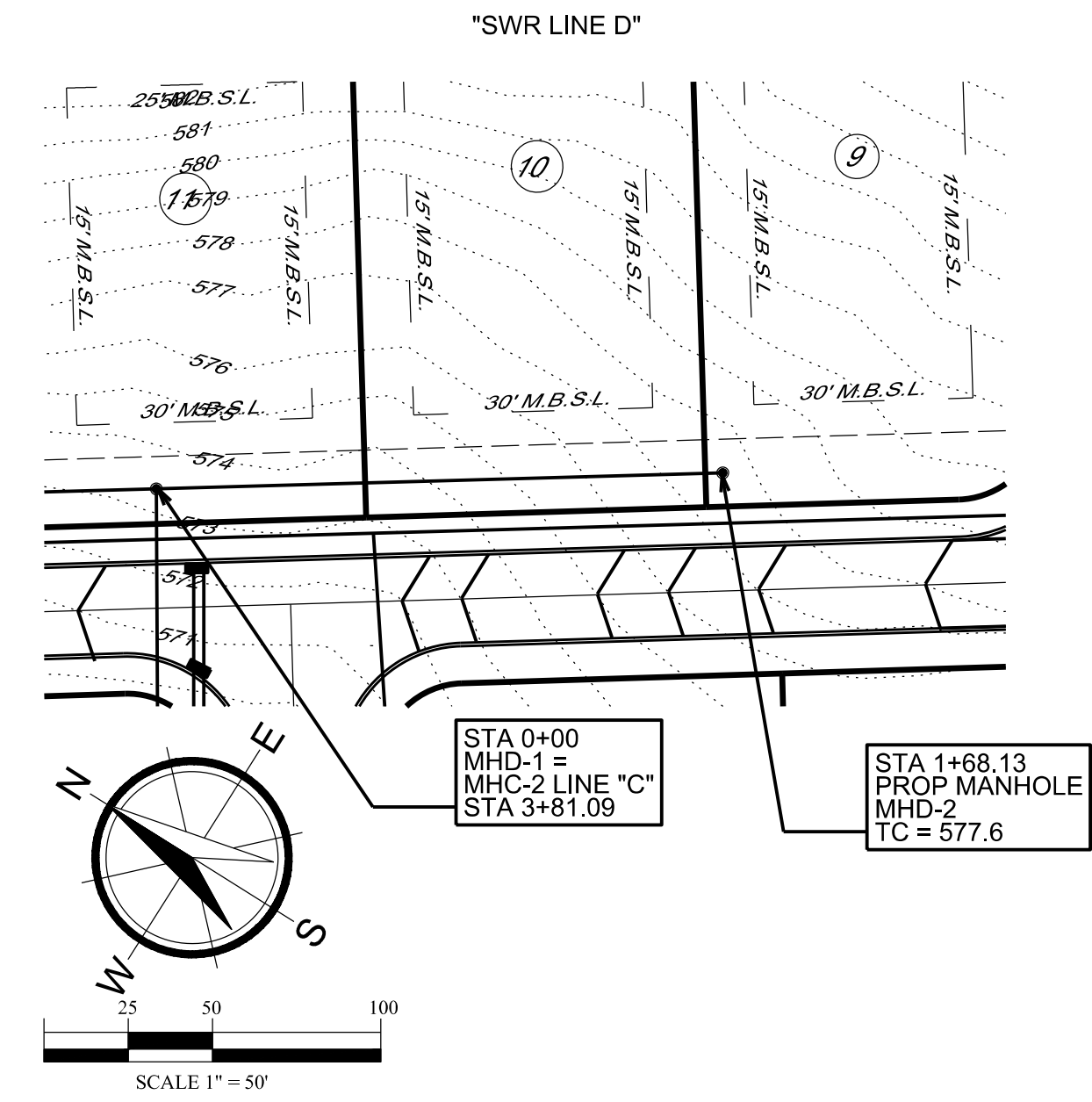
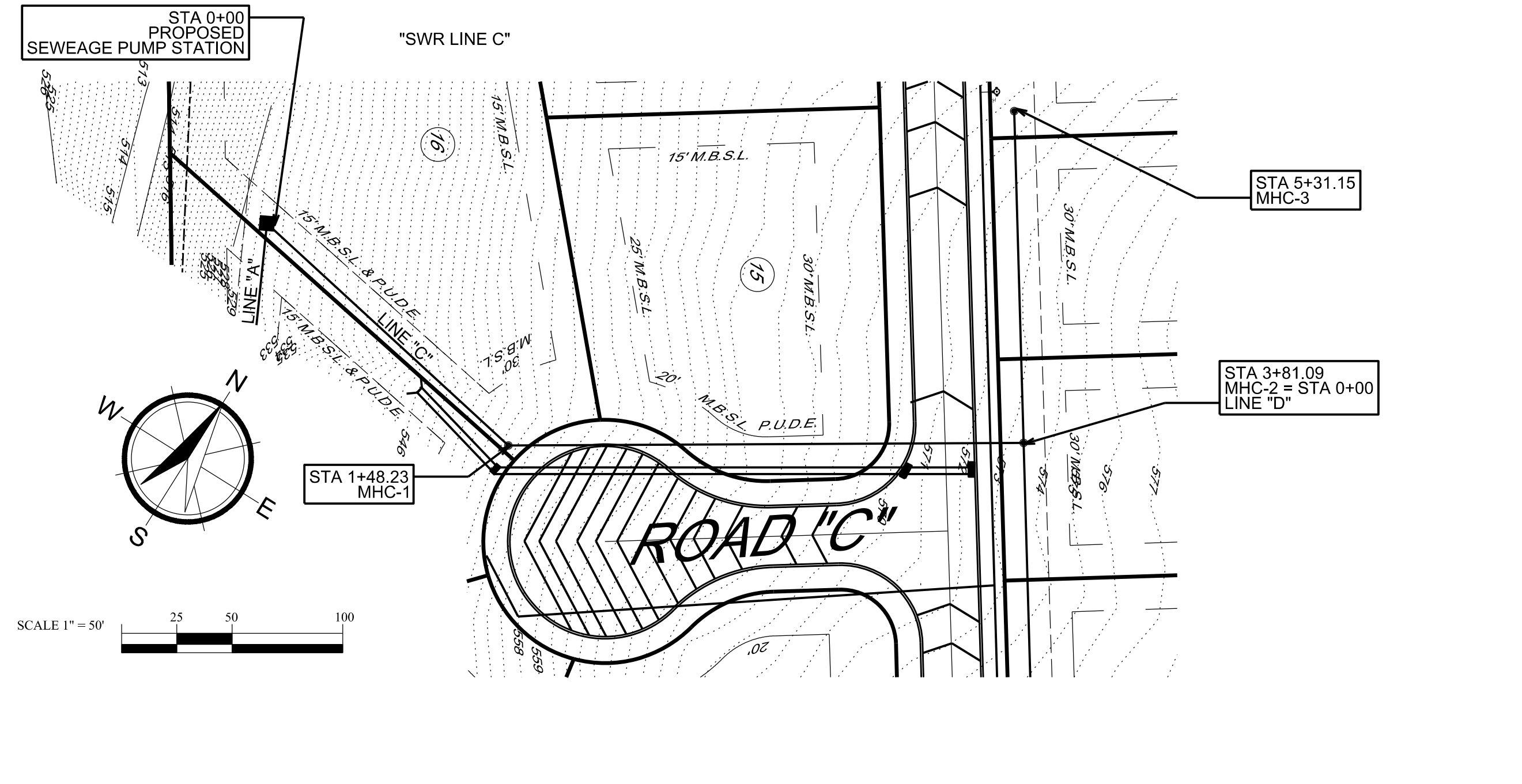
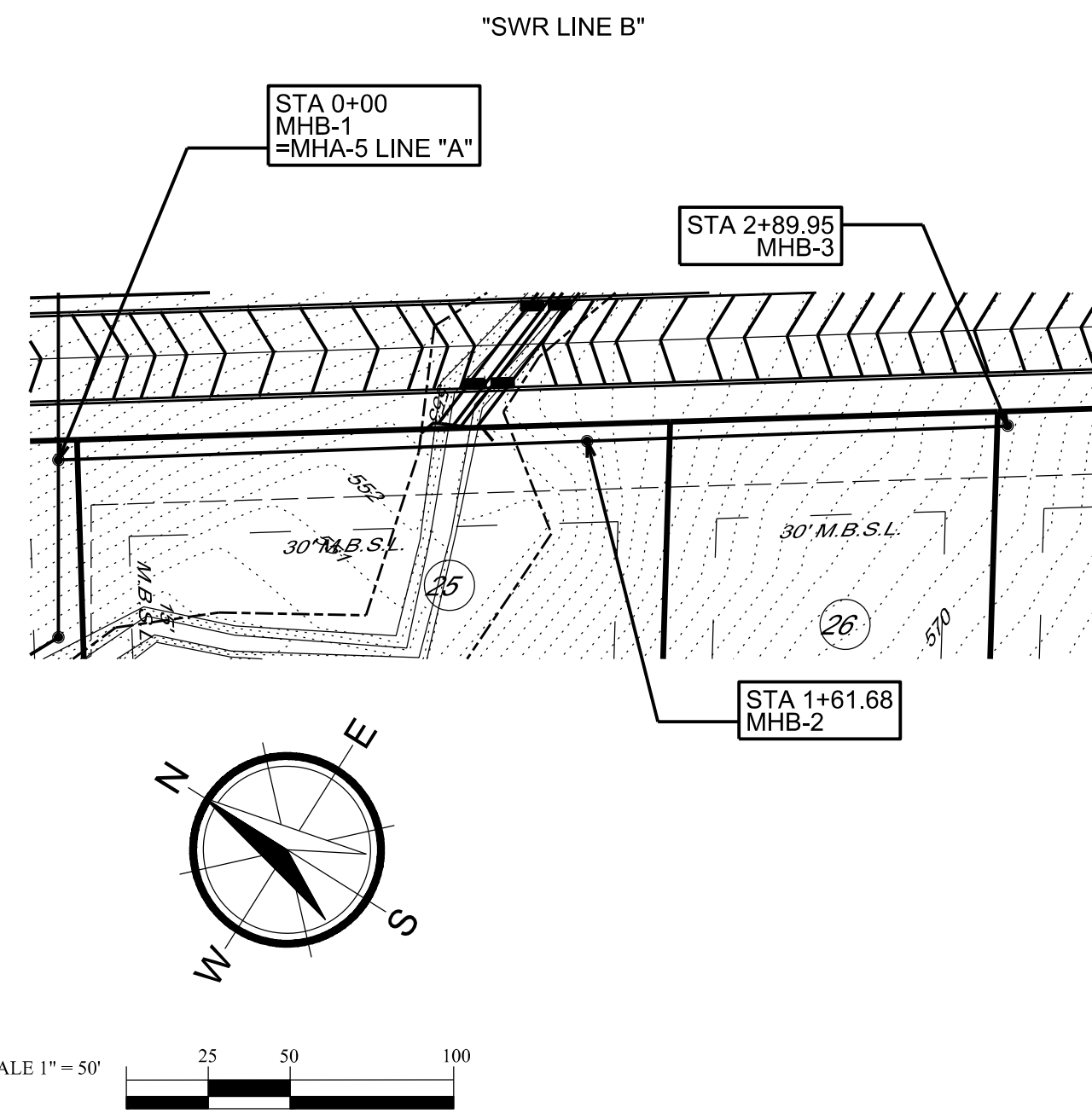
BCG JOB. NO. 21-0112

SEWER "A"  
LAYOUT AND  
PROFILE

**U2**

**GENERAL UTILITY NOTES:**

- 1) ALL SEWER EXTENSIONS AND ASSOCIATED APPURTENANCES SHALL BE INSTALLED AS PER THE HARTSVILLE-TRIOUSDALE WATER AND SEWER UTILITY DISTRICT STANDARD SPECIFICATIONS.
- 2) ALL SEWER EXTENSIONS TESTED AS PER THE HARTSVILLE-TRIOUSDALE WATER AND SEWER UTILITY DISTRICT (HTVWS) STANDARD SPECIFICATIONS INCLUDING VACUUM TESTING MANHOLES AND GRAVITY MAINS SHALL HAVE LOW PRESSURE TEST AND MANDREL TEST.



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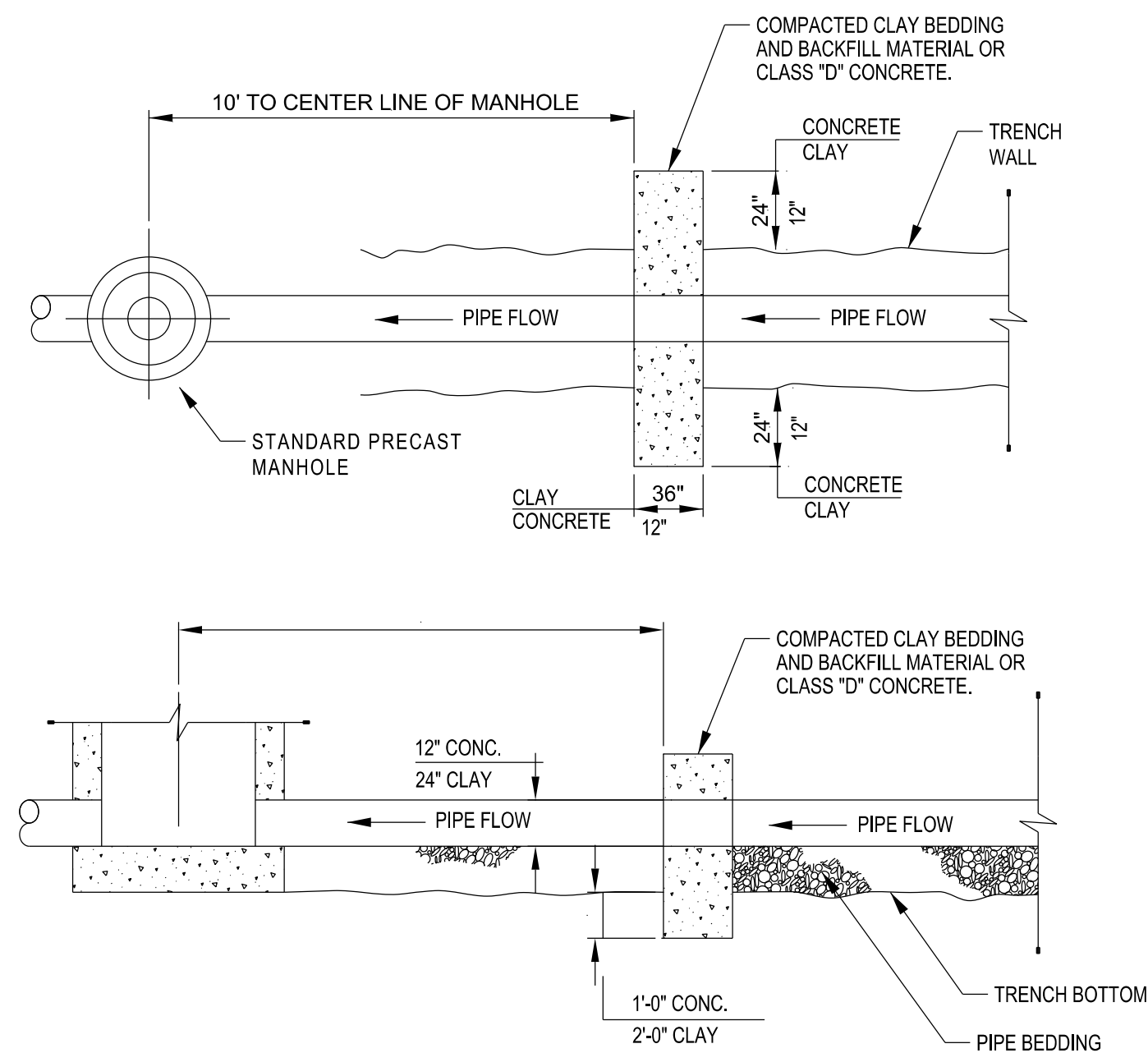
**CONSTRUCTION DRAWINGS**  
**SULPHUR COLLEGE ESTATES**  
MCMURRAY BLVD. &  
SULPHUR COLLEGE ROAD  
HARTSVILLE, TN 37074

DATE: 02/20/2021  
**REVISIONS**

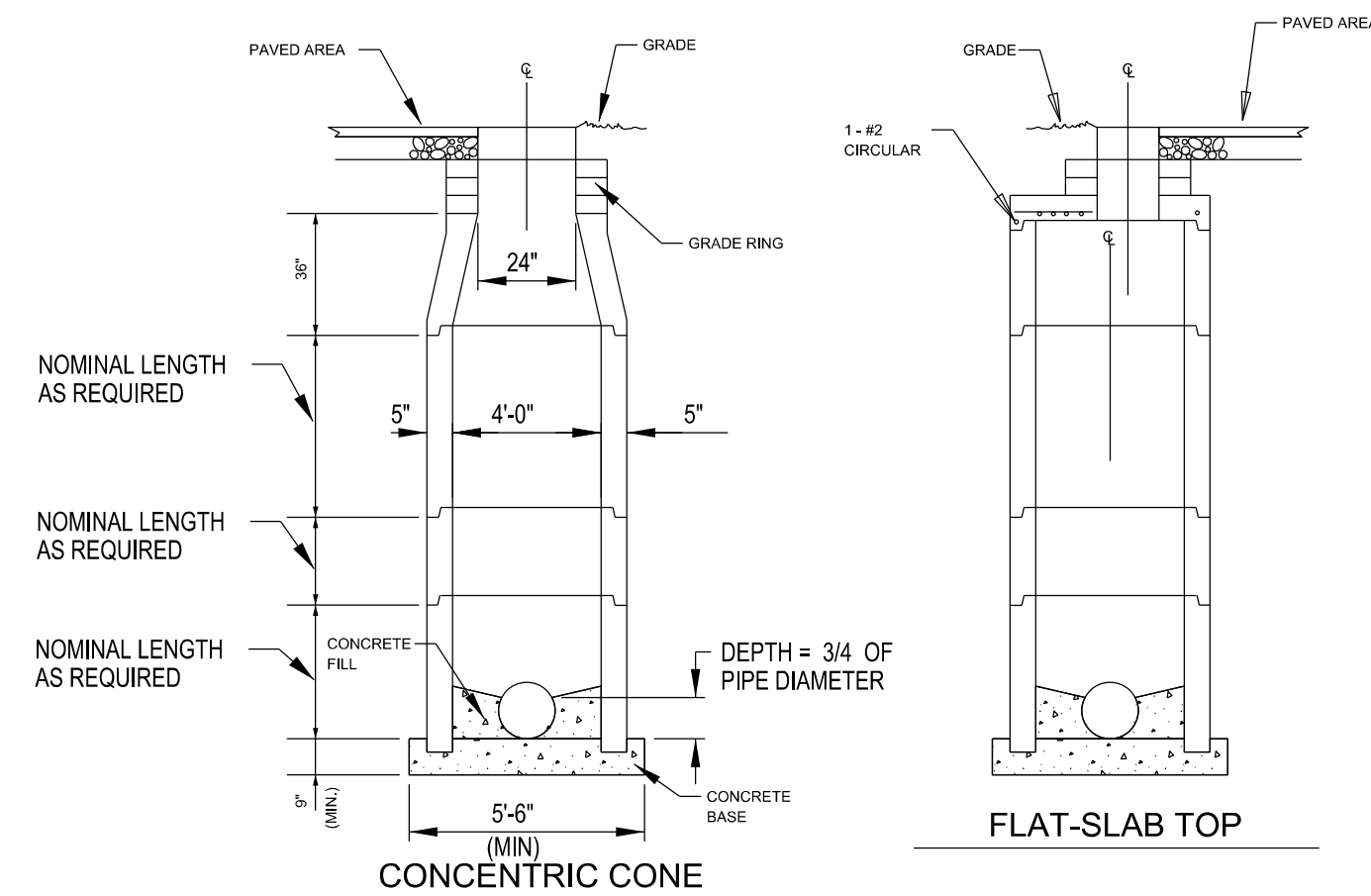


BCG JOB. NO. 21-0112  
**SEWER "B, C, & D"**  
**LAYOUT AND**  
**PROFILE**

**U3**

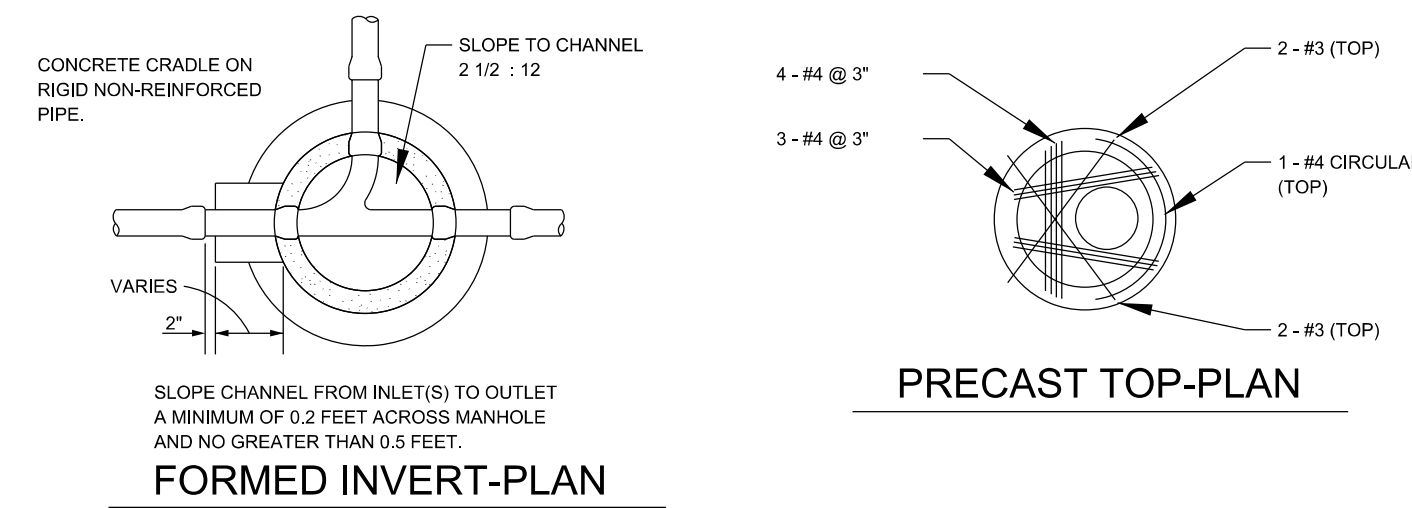


TYPICAL CHECK DAM DETAIL



1. ALL MATERIALS, DESIGN, MANUFACTURE, PHYSICAL TEST REQUIREMENTS, FINISH, MARKING, INSPECTION, REJECTION AND REPAIRS TO MEET ASTM C478 FOR PRECAST REINFORCED CONCRETE MANHOLE RISERS AND TOPS EXCEPT AS MAY BE MODIFIED IN THESE SPECIFICATIONS.
2. MANHOLE STEPS TO BE CAST IN PLACE.
3. KOR-N-SEAL BOOT CONNECTORS OR APPROVED EQUAL REQUIRED.

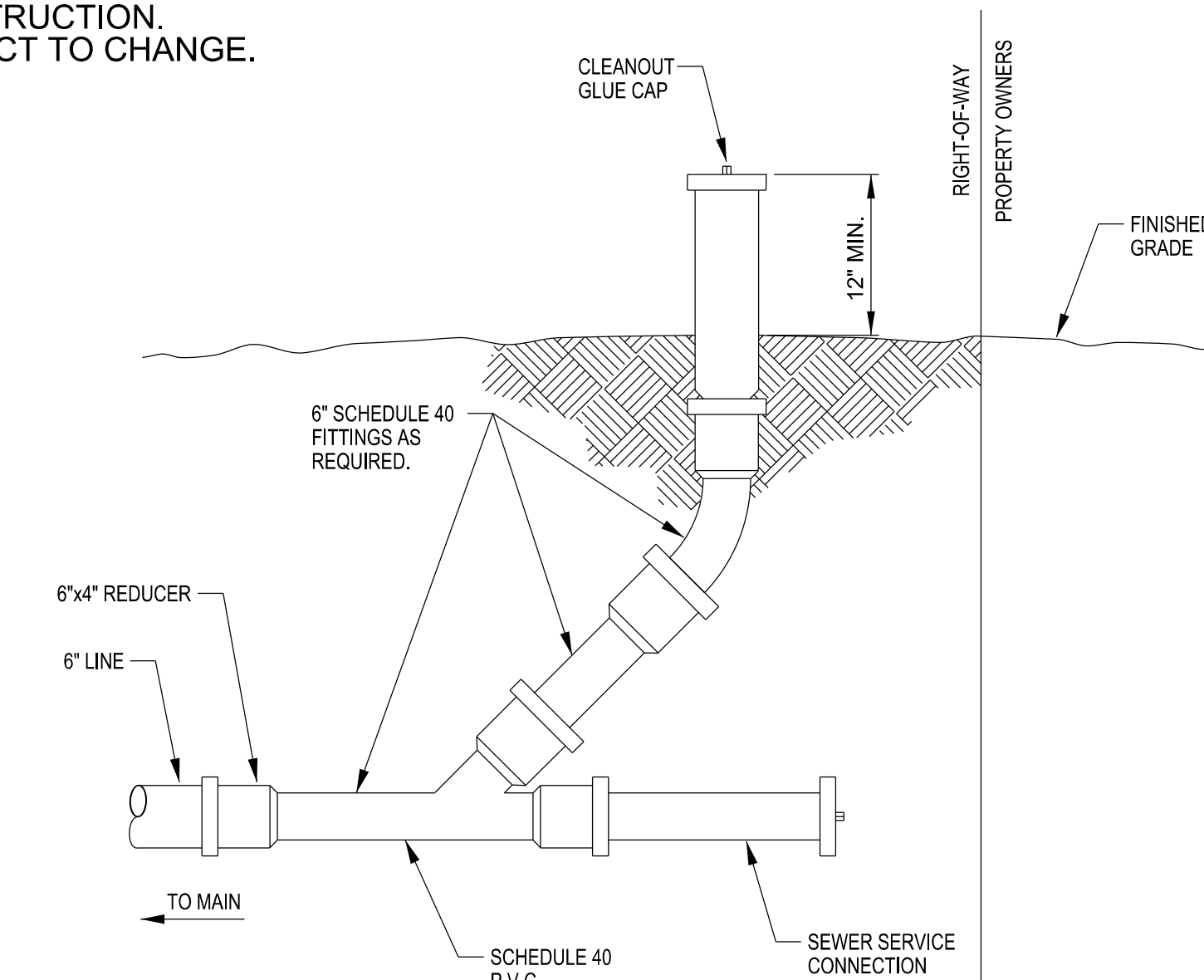
STANDARD PRECAST MANHOLE DETAIL



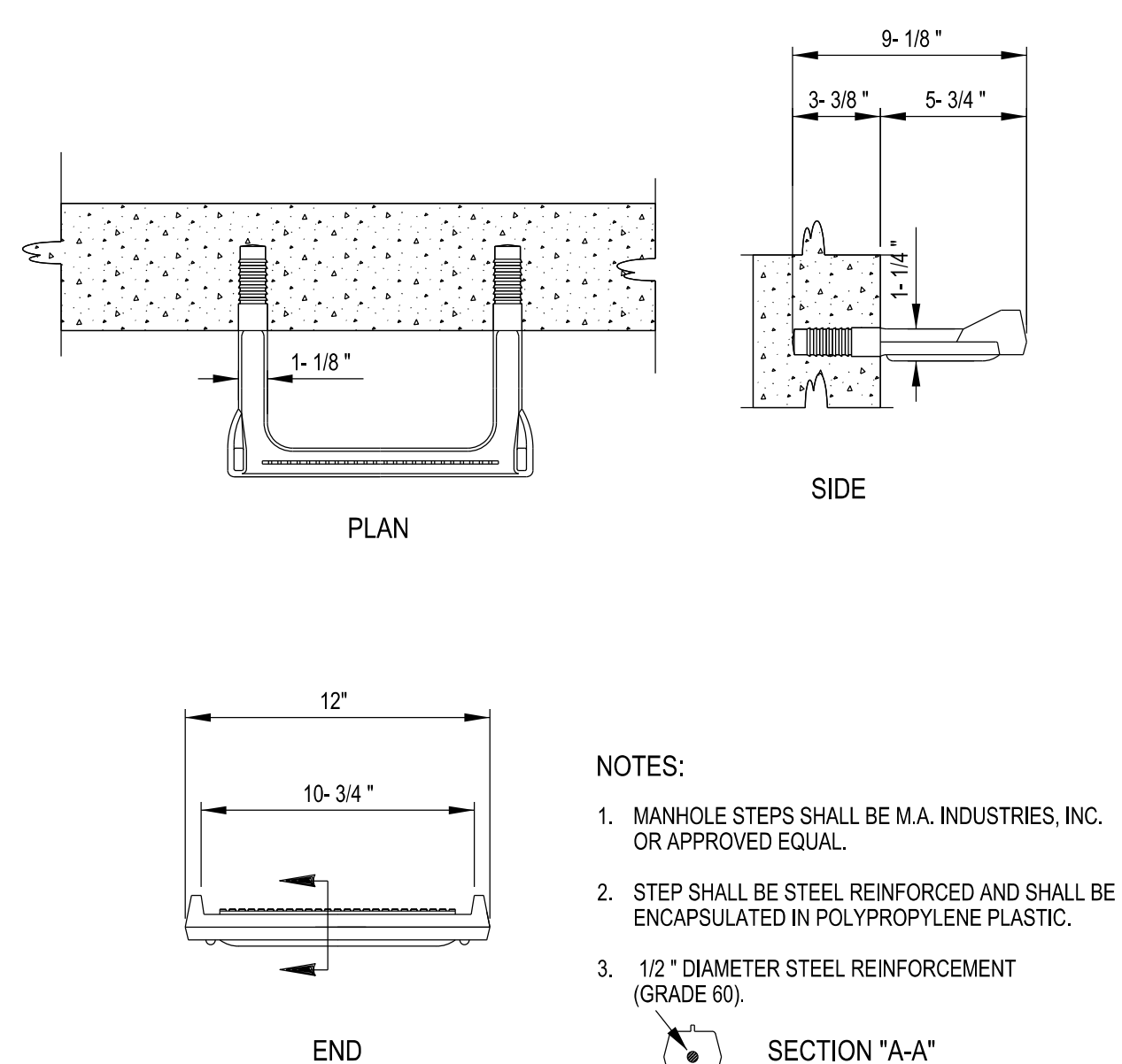
1. ALL MATERIALS, DESIGN, MANUFACTURE, PHYSICAL TEST REQUIREMENTS, FINISH, MARKING, INSPECTION, REJECTION AND REPAIRS TO MEET ASTM C478 FOR PRECAST REINFORCED CONCRETE MANHOLE RISERS AND TOPS EXCEPT AS MAY BE MODIFIED IN THESE SPECIFICATIONS.
2. MANHOLE STEPS TO BE CAST IN PLACE.
3. KOR-N-SEAL BOOT CONNECTORS OR APPROVED EQUAL REQUIRED.

STANDARD PRECAST MANHOLE DETAIL CONTINUED

NOTE: CHECK ALL CITY OF PORTLAND STANDARDS BEFORE COMMENCEMENT OF CONSTRUCTION. SUBJECT TO CHANGE.

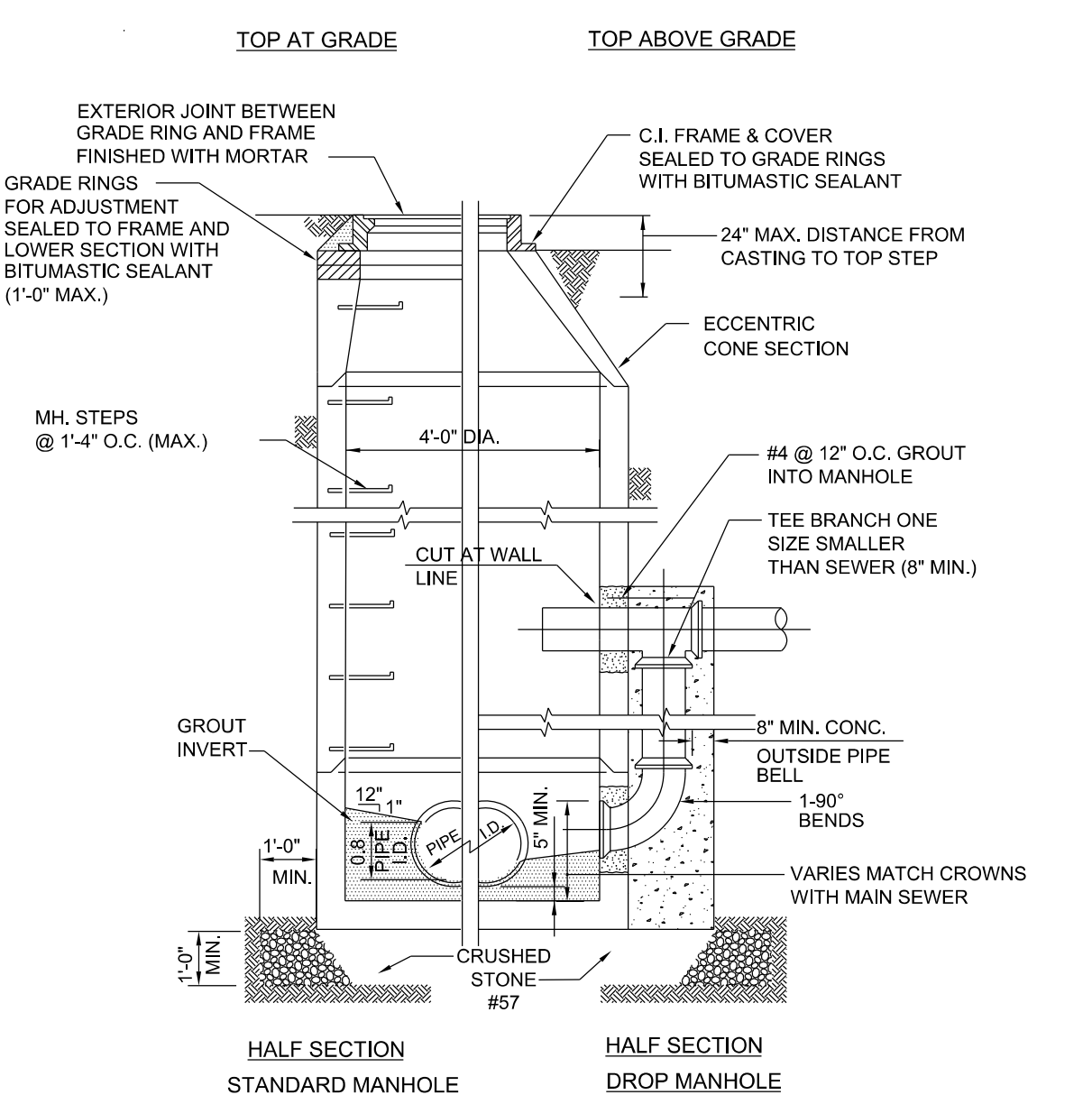


GLUE CAP CLEANOUT DETAIL



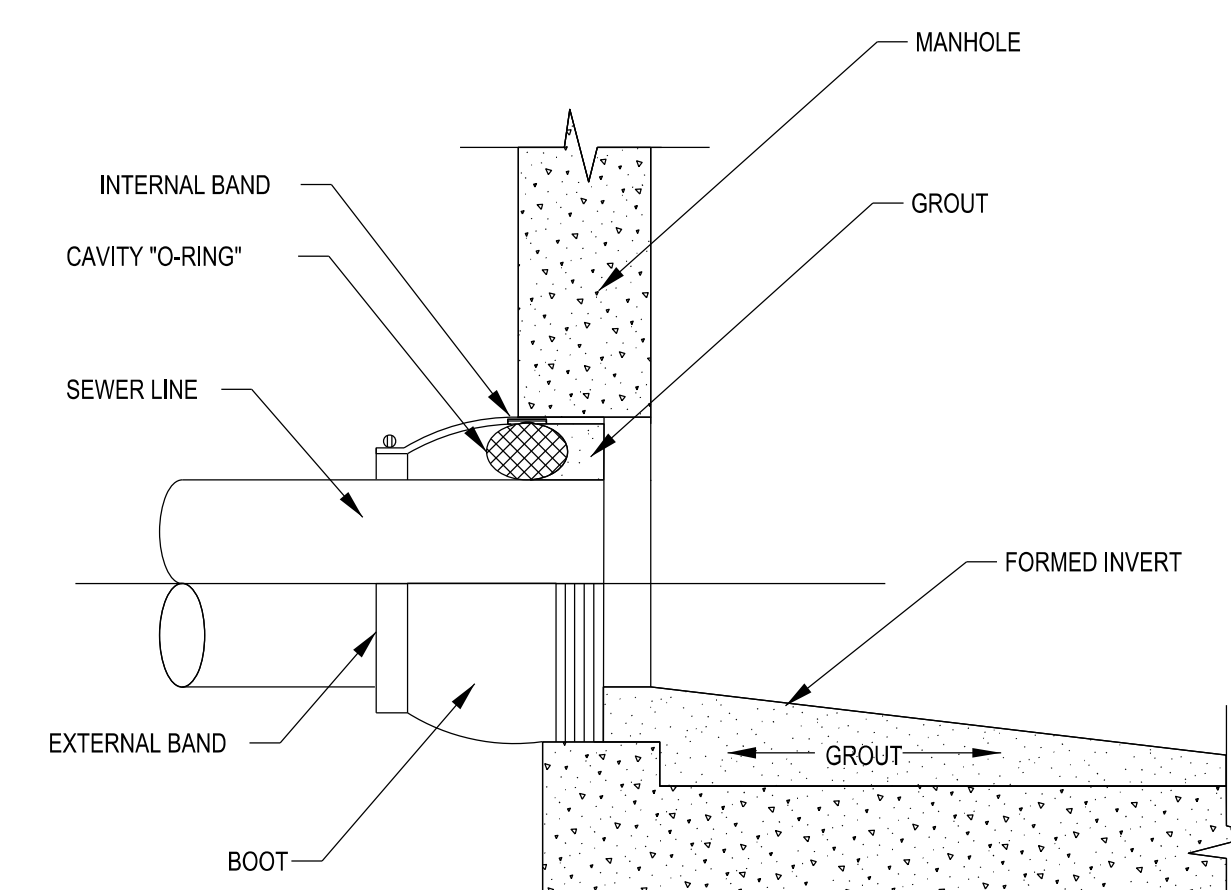
- NOTES:
1. MANHOLE STEPS SHALL BE M.A. INDUSTRIES, INC. OR APPROVED EQUAL.
  2. STEP SHALL BE STEEL REINFORCED AND SHALL BE ENCAPSULATED IN POLYPROPYLENE PLASTIC.
  3. 1/2" DIAMETER STEEL REINFORCEMENT (GRADE 60).

MANHOLE STEPS DETAIL

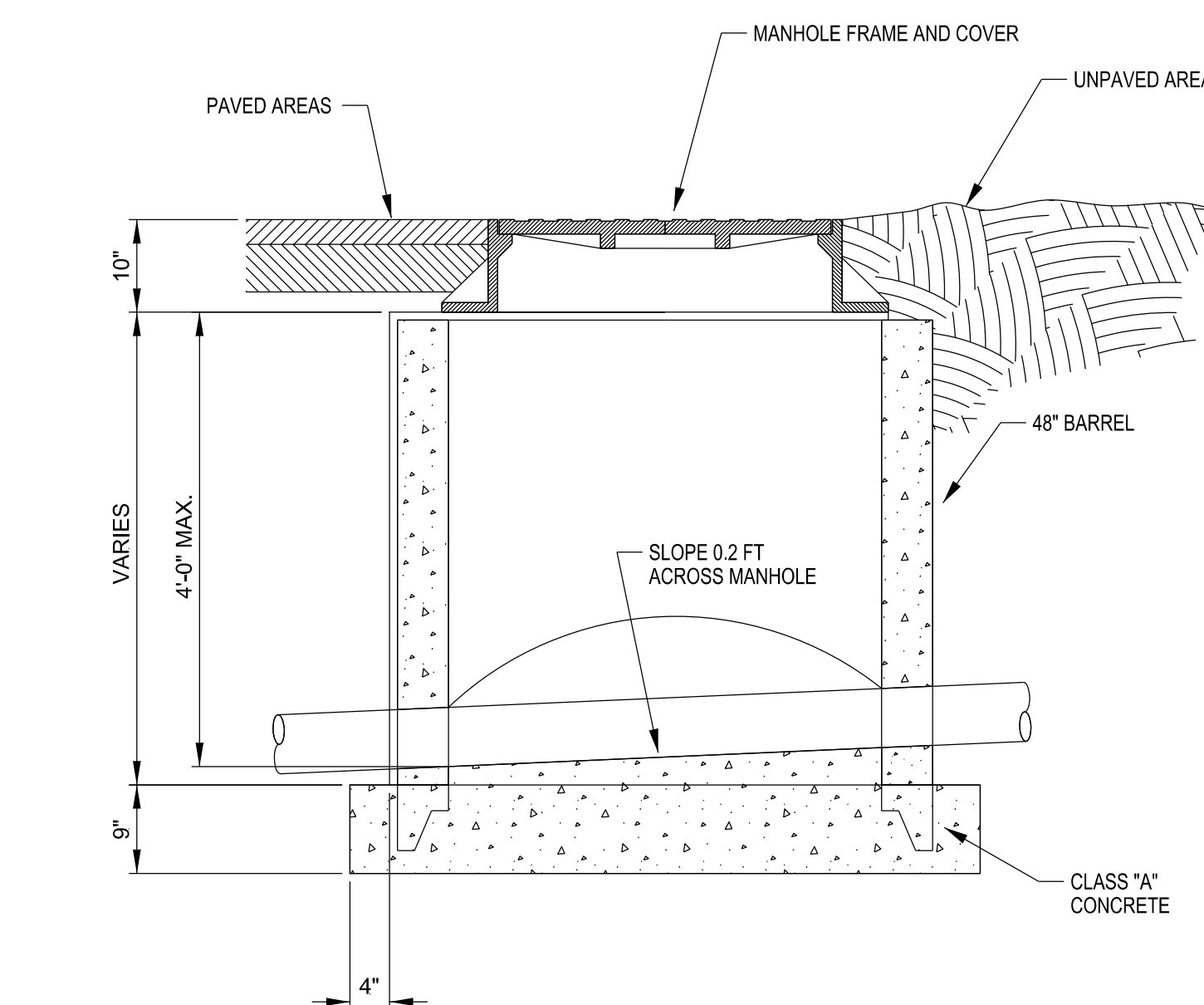


PRECAST CONCRETE MANHOLE DETAIL

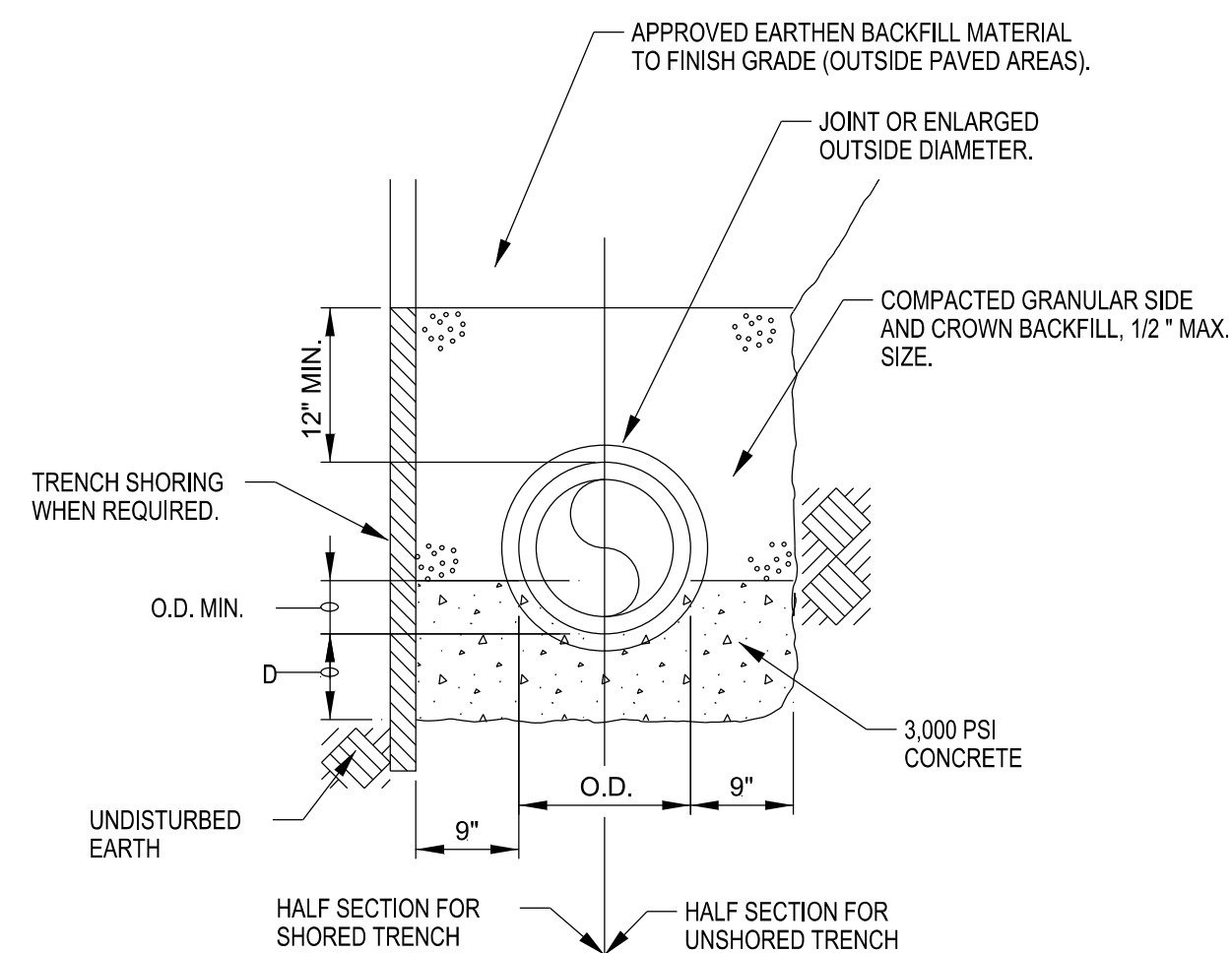
STD-HW-01



PIPE TO MANHOLE CONNECTION DETAIL

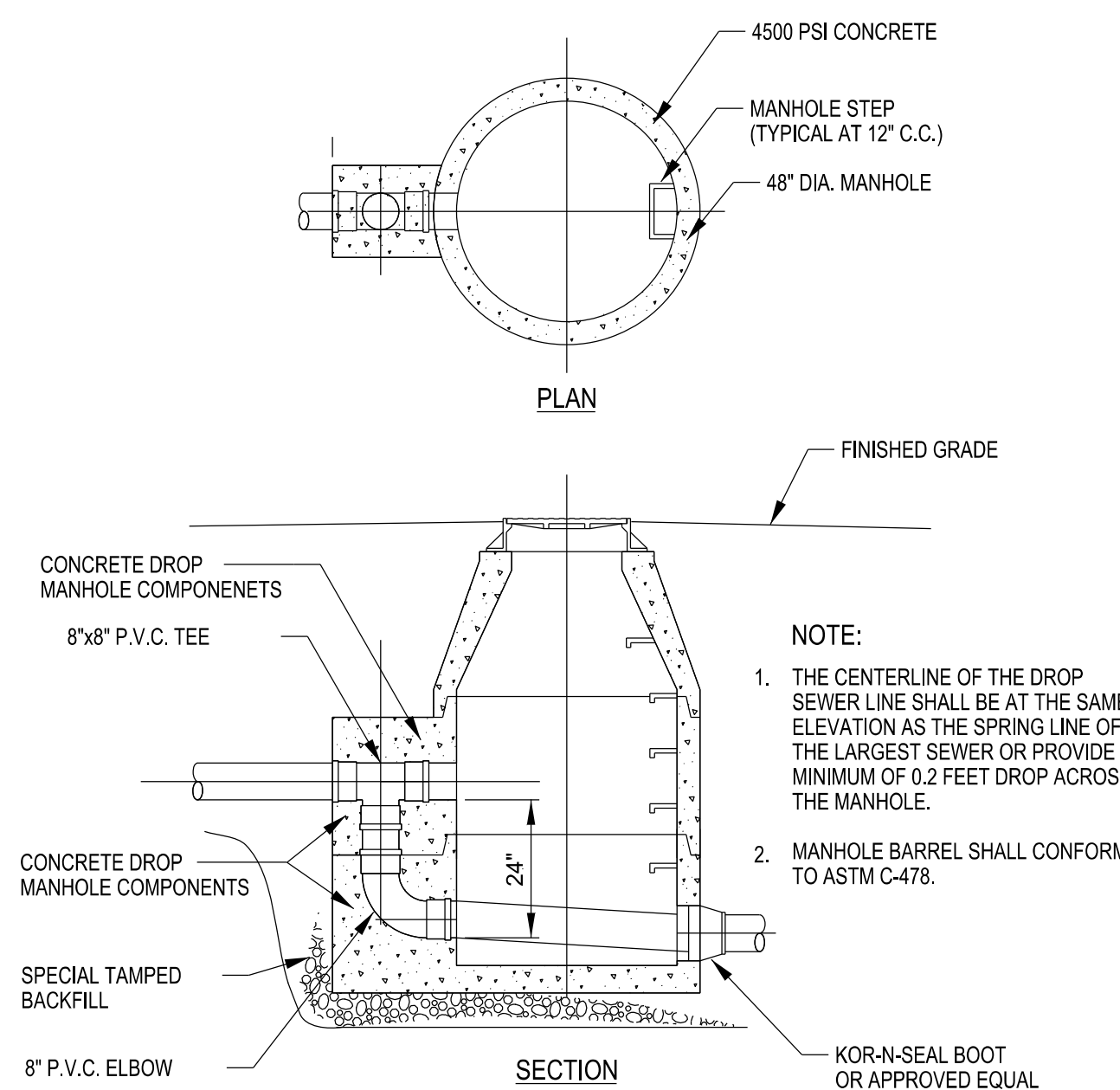


SHALLOW MANHOLE DETAIL

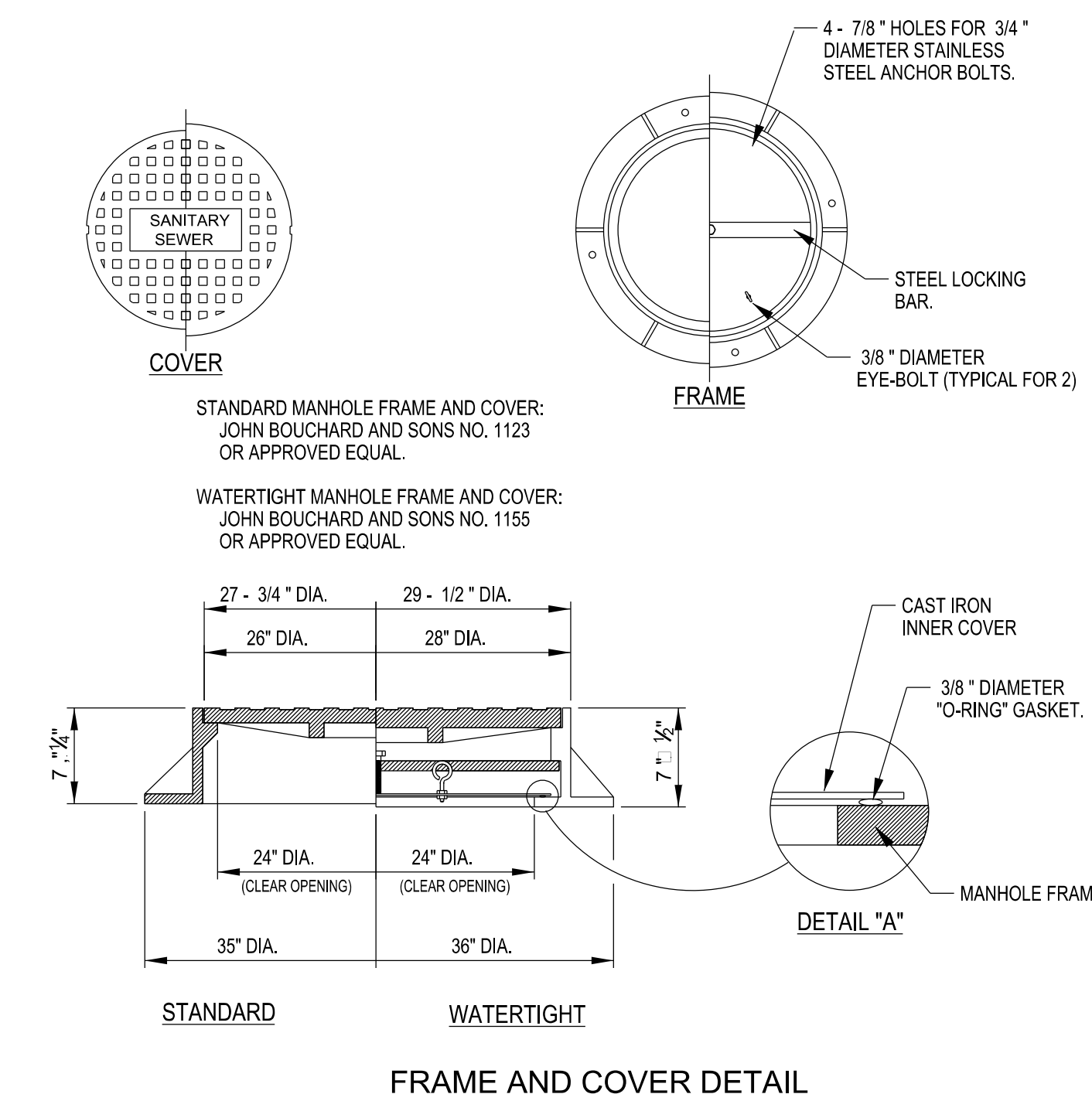


BEDDING DEPTH "D"	
DIAMETER	D MIN.
27" AND SMALLER	3"
30" TO 60"	4"
66" AND LARGER	6"

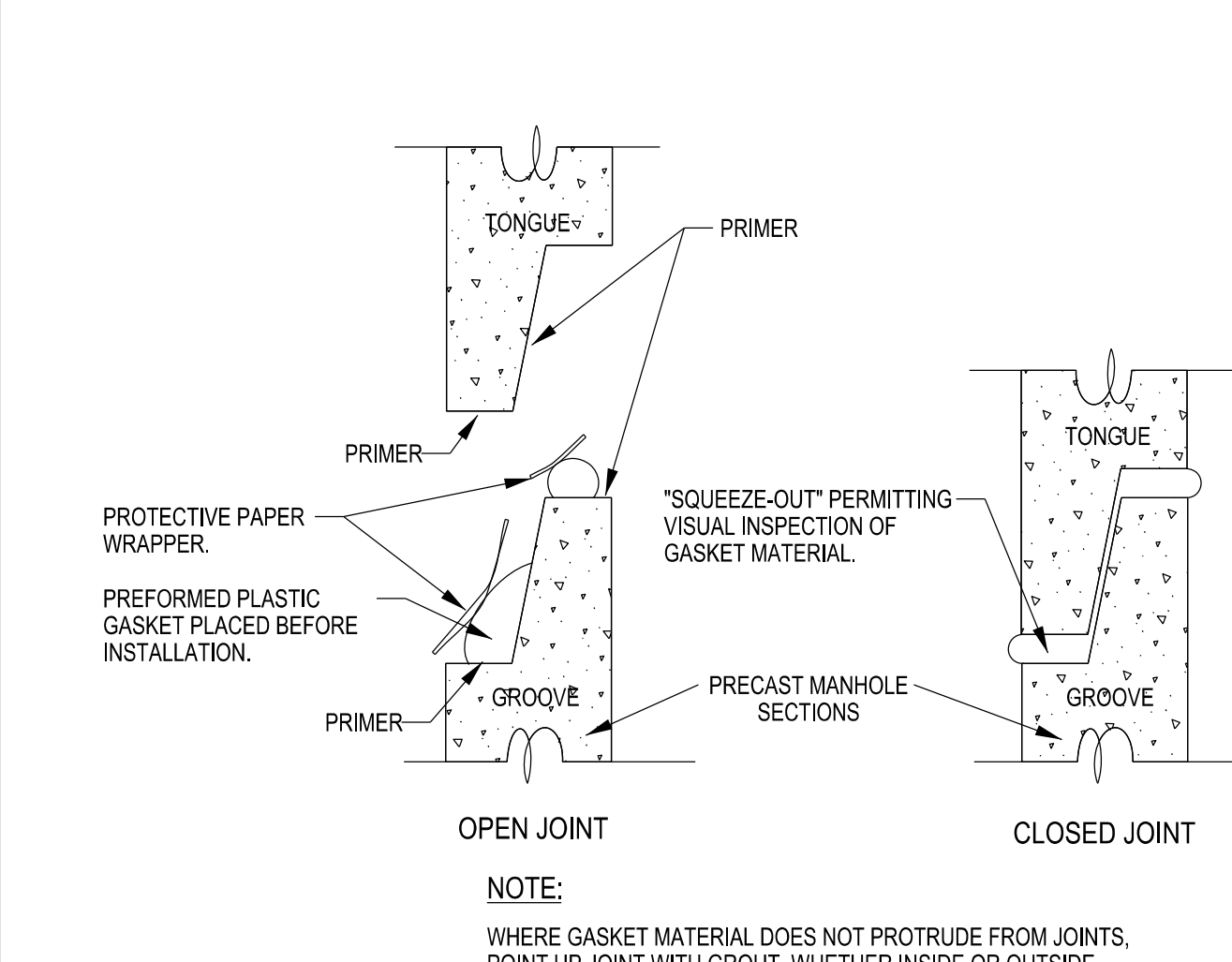
CLASS "A" PIPE BEDDING DETAIL



DROP MANHOLE DETAIL



FRAME AND COVER DETAIL



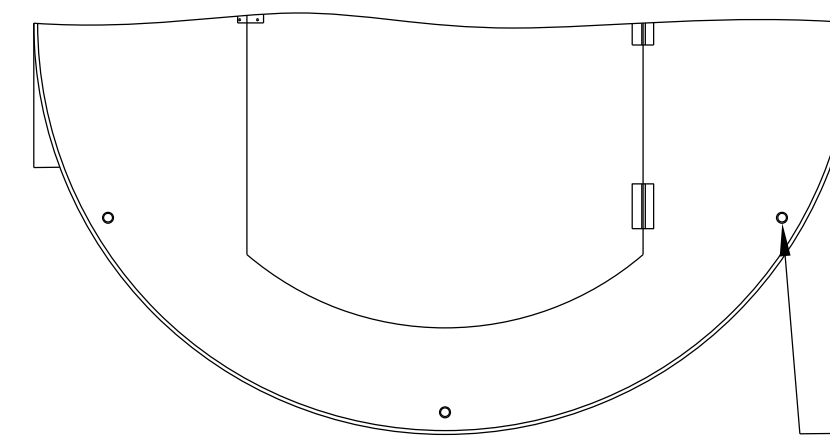
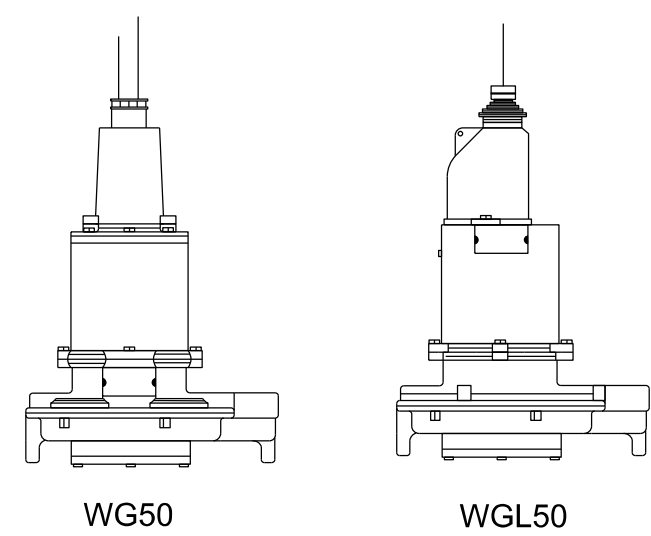
PLASTIC GASKET JOINT FOR PRECAST MANHOLE DETAIL

BRIAN GOODWIN, P.E.  
CIVIL, STRUCTURAL  
ENGINEERING

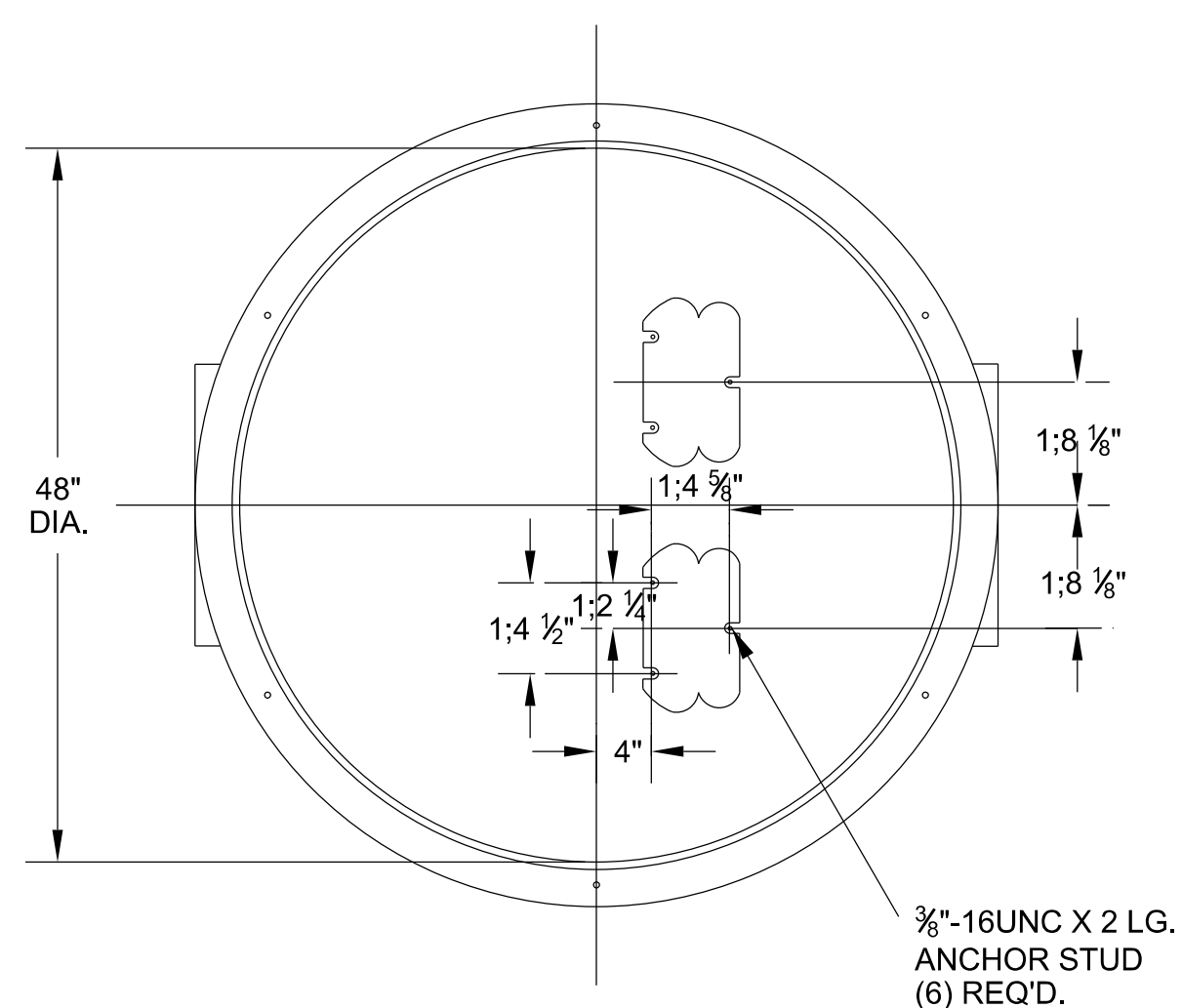
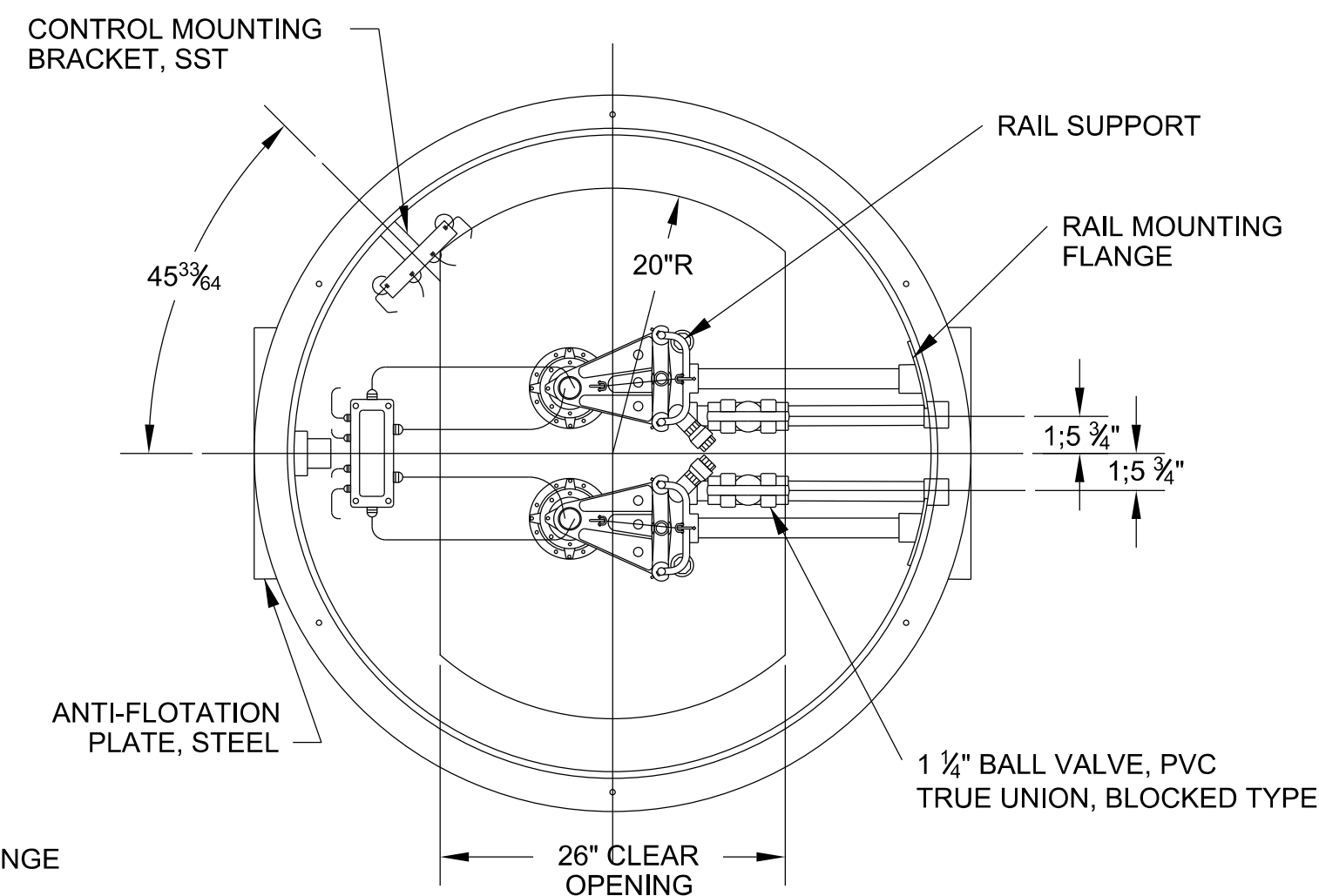
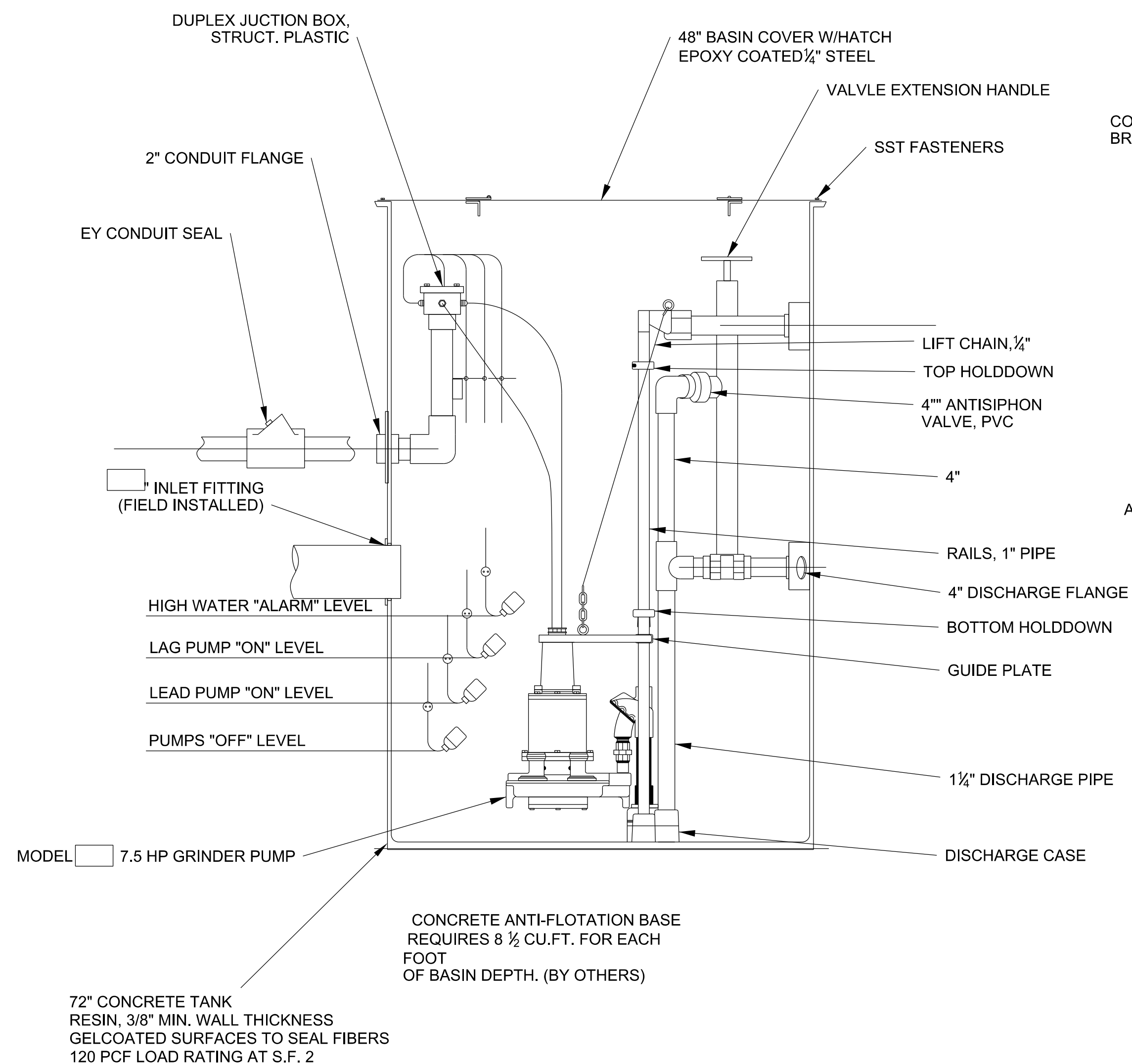
SULPHUR COLLEGE  
ESTATES  
SEWER DETAILS

UD1

N.T.S.



3/8" -16UNC (COVER BOLTS)  
ON 51 DIA. B.C.  
EQUALLY SPACED AS SHOWN

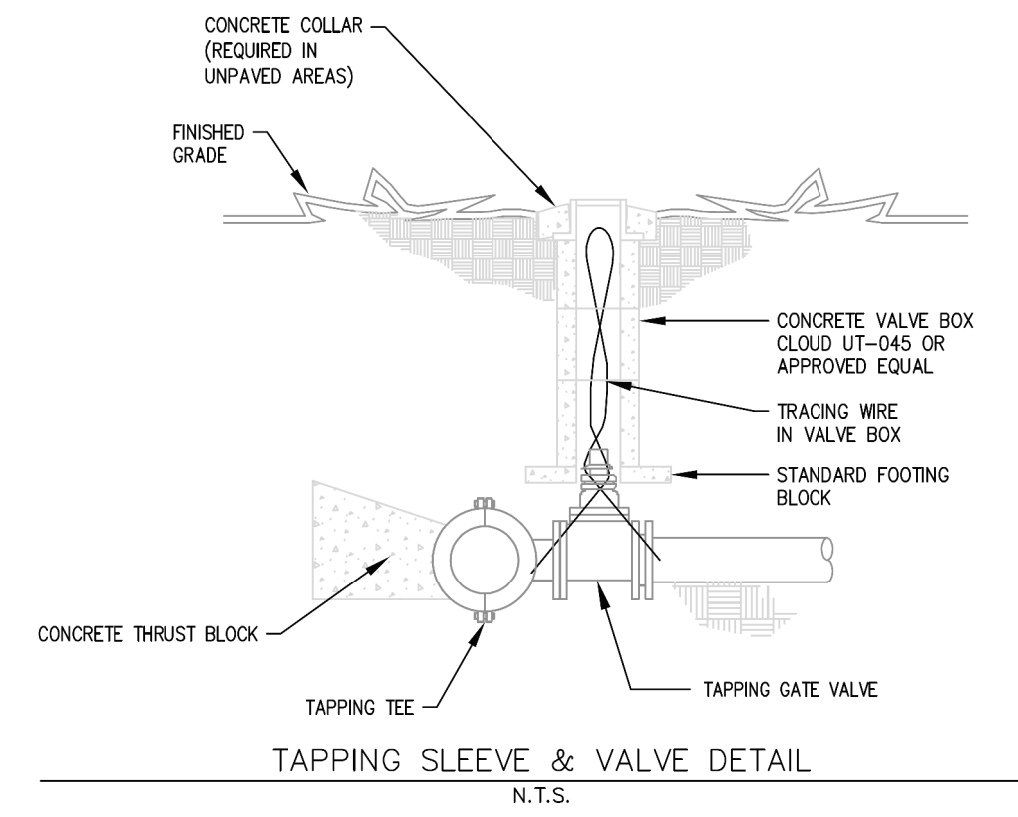
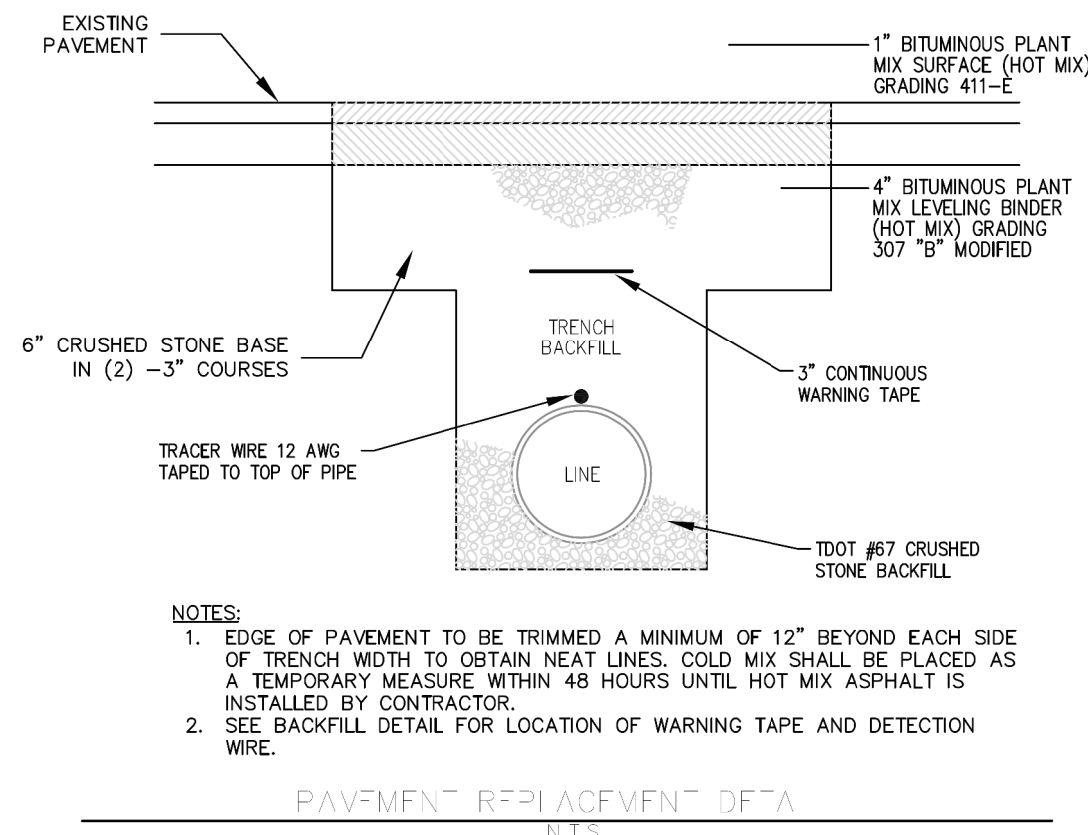
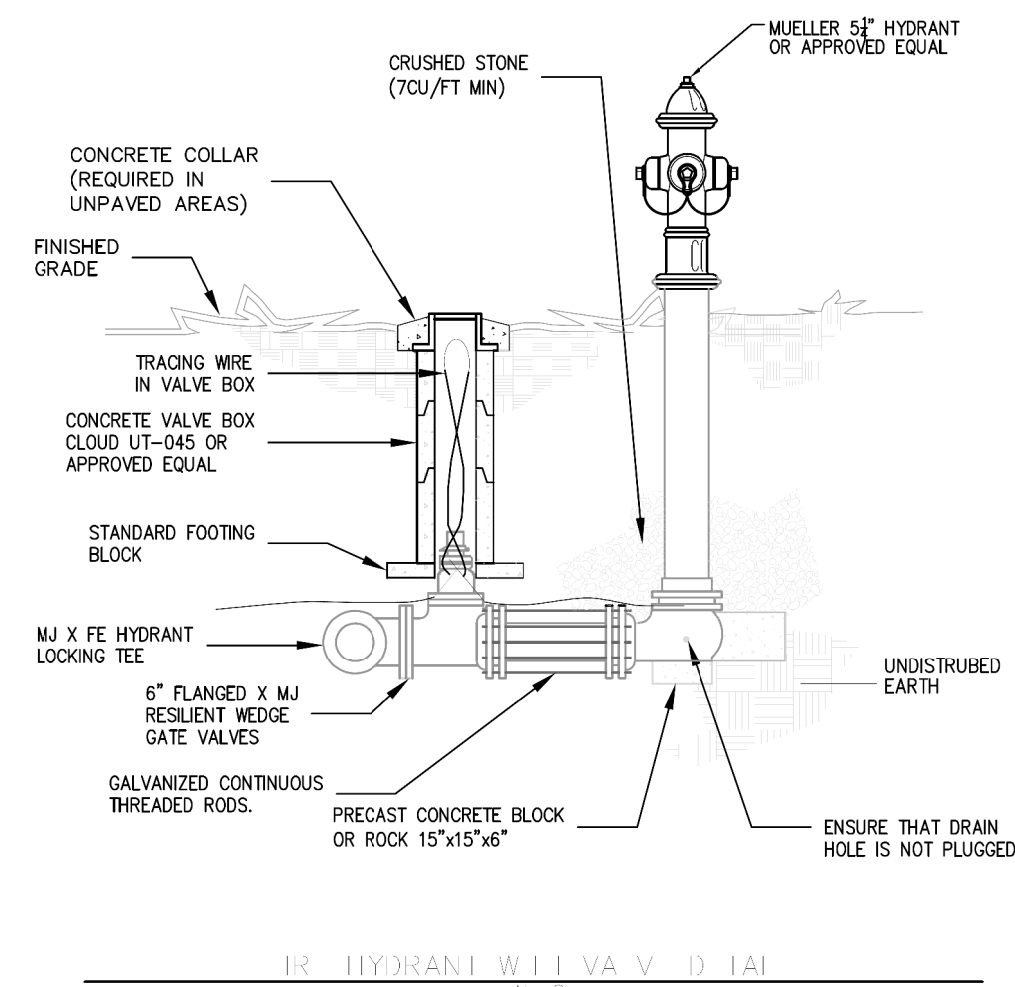


### PUMP SYSTEM NOTES AND SPECIFICATIONS

- 1) THE PACKAGE DUPLEX SUBMERSIBLE LIFT RAIL TYPE PUMPING SYSTEM WITH ALL NECESSARY CONTROLS SHALL BE MYERS OF EQUAL.
- 2) SYSTEM COMPONENTS SHALL INCLUDE THE FOLLOWING MAJOR AREAS:
  - A. DUPLEX SUBMERSIBLE PUMP AND MOTORS WITH BASE PLATES, DISCHARGE ELBOW, SEALING FLANGES, AND GUIDE SHOES TO MEET THE PUMPING CONDITIONS OF 100 G.P.M. @ 186 TDH.
  - B. LIFT RAIL SYSTEM COMPLETE LIFT CHAIN AND ANCHORING DEVICES FOR THE DEPTH SYSTEM REQUIRED.
  - C. PRE-WIRED NEMA 3R CONTROL PANEL WITH STARTERS, BREAKERS, SELECTOR SWITCHES, ALTERNATOR, LIGHTING ARRESTOR, CONVENIENCE OUTLET, AUXILIARY ALARM CONTROLS, DRY CONTACT FOR REMOTE ALARM AND OTHER STANDARD ACCESSORIES.
  - D. FOUR MERCURY FLOATS SWITCHES WITH SUFFICIENT CABLE TO REACH CONTROL PANEL AND FLOAT BRACKET.
  - E. NEMA 4x JUNCTION BOX.
  - F. SPARE SEAL KIT AND BLADE REPLACEMENT KIT FOR EACH PUMP SHALL BE PROVIDE TO OWNER.
- 3) CONTRACTOR SHALL PROVIDE ALL OTHER CONDUIT, PIPING, WIRING, MOUNTING BRACKETS, DISCONNECT, METER BASE, AND OTHER NECESSARY MATERIAL SAND LABOR TO COMPLETE THE PROJECT INCLUDING ALL ELECTRICAL CONNECTIONS AND REMOTE ALARM SYSTEM.
- 4) PUMP SHALL BE DESIGNED TO OPERATE WITH PUMP MOTOR CASING EXPOSED TO AIR.
- 5) CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTLAND ELECTRICAL ENGINEER ON ELECTRICAL DETAILS INCLUDING VOLTAGE OF SERVICE AND EXACT LOCATION TO CONNECT TO UNDERGROUND POWER. ELECTRICAL SERVICE SHALL BE COORDINATED WITH PUMP SUPPLIER TO ENSURE COMPATIBILITY.
- 6) PUMP SUPPLIER SHALL PROVIDE A ONE YEAR WARRANTEE AND START UP SERVICE. PUMP SUPPLIER SHALL PROVIDE OWNER WITH FOUR SETS OF COMPLETE O & M MANUALS FOR ALL EQUIPMENT SUPPLIED WITH HIS PACKAGE.
- 7) CONTRACTOR SHALL PROVIDE A SJE SERIES 202 TANK ALARM II ALARM SYSTEM PANEL FOR EACH PUMP STATION.

GRINDER STATION (GS #1)	
LOWEST INFLUENT	526.5
STATION DEPTH	10.0'
STATION DIA.	6.0'
MIN REQ'D STORAGE	3.0'
GROUND ELEV.	531.6
SUMP	
PUMP DISCHARGE	100 GPM
STATIC HEAD	
FRICTION HEAD	
TOTAL HEAD	186
STATION HP	TBD
PUMPS OFF	
LEAD PUMP ON	
LAG PUMP ON	
HIGH WATER ALARM	

SULPHER COLLEGE  
ESTATES  
PRELIMINARY  
PUMP STATION DETAILS  
UD2

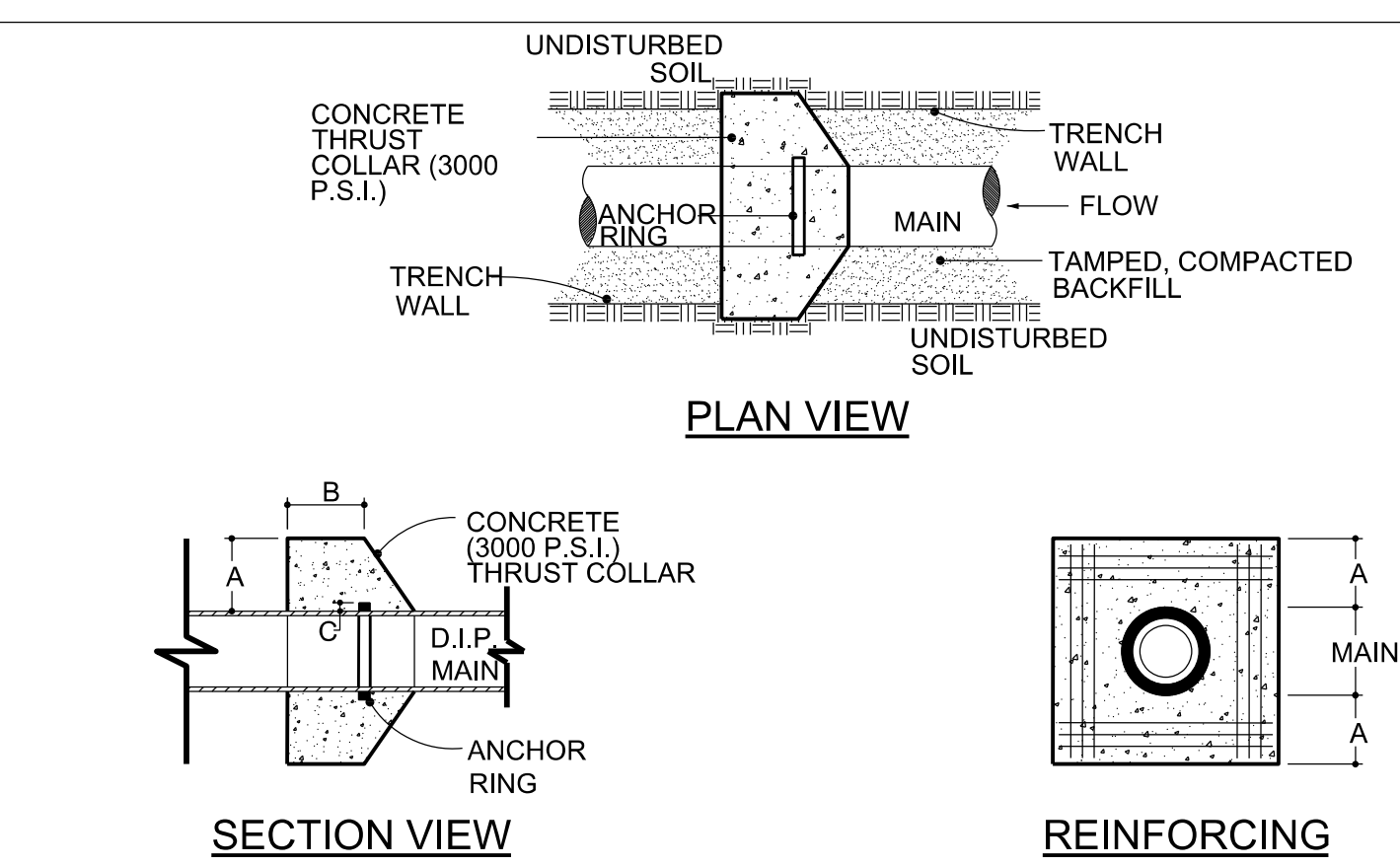
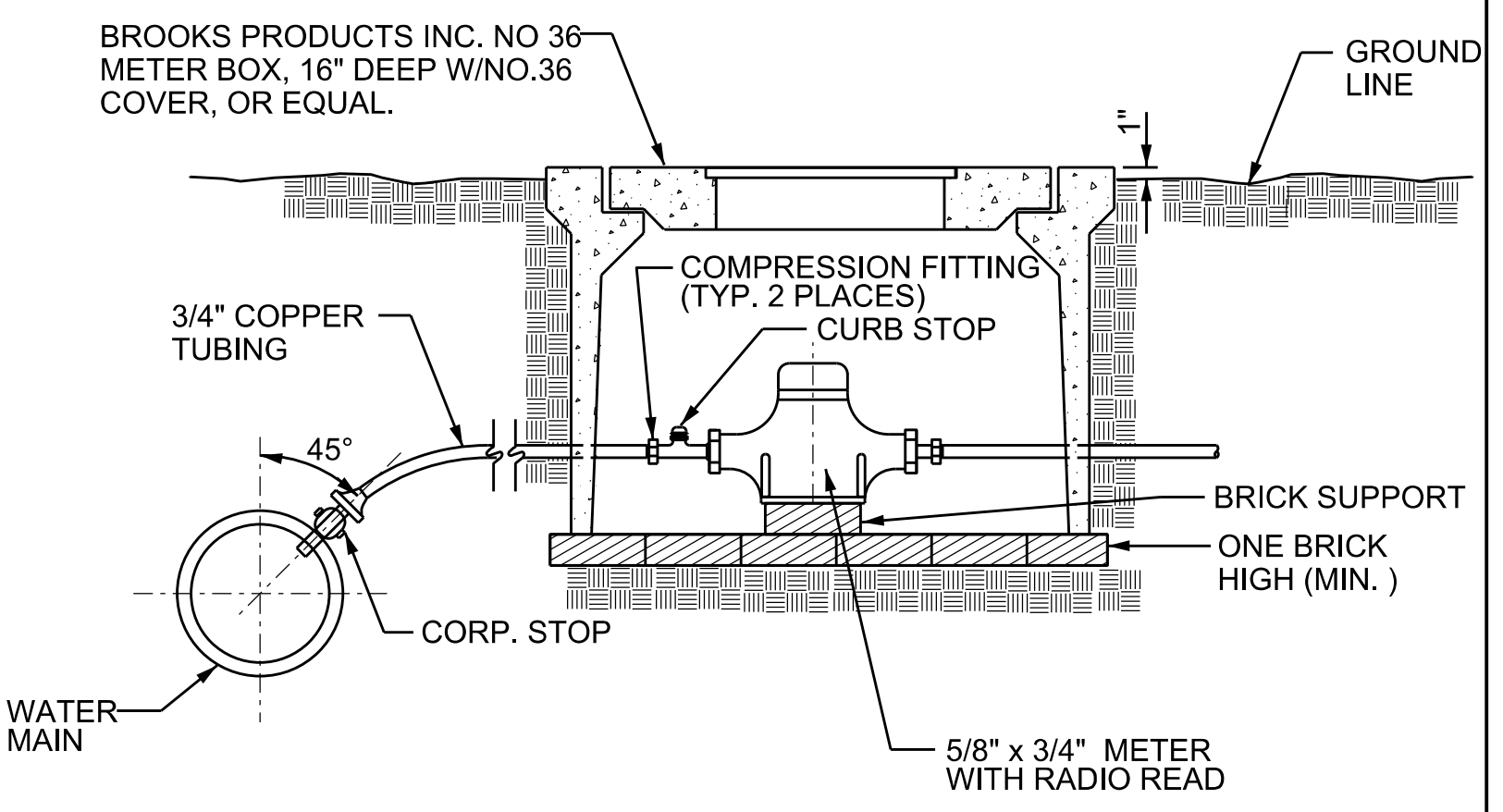


TEES, CROSSES AND ELBS		90° BENDS		45° BENDS		22-1/2° BENDS		11-1/4° BENDS		PIPE SIZE	
H	V	D	Cu/Ft	H	V	D	Cu/Ft	H	V		D
18"	12"	18"	1.90	18"	12"	18"	1.90	18"	12"	18"	1.90
24"	12"	18"	2.25	24"	12"	18"	2.25	24"	12"	18"	2.25
24"	18"	18"	2.50	24"	18"	18"	2.50	24"	18"	18"	2.50
30"	18"	24"	3.00	30"	18"	24"	3.00	30"	18"	24"	3.00
48"	24"	24"	3.15	48"	24"	24"	3.15	48"	24"	24"	3.15
54"	30"	24"	3.40	54"	30"	24"	3.40	54"	30"	24"	3.40
60"	30"	24"	3.60	60"	30"	24"	3.60	60"	30"	24"	3.60
60"	36"	24"	3.80	60"	36"	24"	3.80	60"	36"	24"	3.80
66"	36"	24"	4.00	66"	36"	24"	4.00	66"	36"	24"	4.00
72"	36"	24"	4.20	72"	36"	24"	4.20	72"	36"	24"	4.20
72"	42"	24"	4.40	72"	42"	24"	4.40	72"	42"	24"	4.40
78"	42"	24"	4.60	78"	42"	24"	4.60	78"	42"	24"	4.60
84"	42"	24"	4.80	84"	42"	24"	4.80	84"	42"	24"	4.80
90"	42"	24"	5.00	90"	42"	24"	5.00	90"	42"	24"	5.00

- NOTES:
- BLOCKING WILL BE PAID FOR AT THE CONTRACT UNIT PRICE FOR CLASS "B" CONCRETE FOR THE VOLUME SHOWN IN THE ABOVE TABLE FOR EACH FITTING SO BLOCKED ONLY IF A SEPARATE ITEM APPEARS IN THE SCHEDULE OF A PROPOSAL FOR A UNIT PRICE CONTRACT. OTHERWISE, THERE WILL BE NO SEPARATE PAYMENT FOR CONCRETE THRUST BLOCKING.
  - DIMENSIONS ARE CONTROLLED BY DIAMETER OF BRANCH MAIN.
  - THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE THRUST BLOCKING ON ALL TEES, BENDS, TAPPING SLEEVES AND VALVES, AND ANY OTHER PIPING CONNECTIONS AS SHOWN ON THE STANDARD DETAIL SHEET. THE CONTRACTOR SHALL NOT BE ALLOWED TO USE ANY PRE-MIX CONCRETE SUCH AS SAND-CRETE. ALL THRUST BLOCKING SHALL BE VISUALLY INSPECTED PRIOR TO BACKFILLING BY THE OWNER'S REPRESENTATIVE.

CONCRETE THRUST BLOCKING DETAIL

N.T.S.



PIPE DIAMETER	SCHEDULE			RINGS REQUIRED
	CONCRETE THRUST COLLAR A	ANCHOR RING B	RINGS REQUIRED C	
8"-12"	1'-0"	1'-0"	2"	ONE
18"	1'-4"	1'-0"	2"	ONE
20"	1'-4"	1'-0"	3"	ONE
24"	1'-4"	1'-0"	3"	TWO
30"	1'-4"	1'-2"	4"	TWO
36"	1'-4"	1'-4"	4"	TWO

- NOTES:
- 6" TO 16" MAINS = 12-NO. 7 BARS, 20" TO 36" MAINS = 12-NO. 8 BARS, BARS PLACED AS SHOWN.
  - ANCHOR RING SHALL BE A MJ RESTRAINED JOINT GLAND BY EBAA IRON OR APPROVED EQUIVALENT.

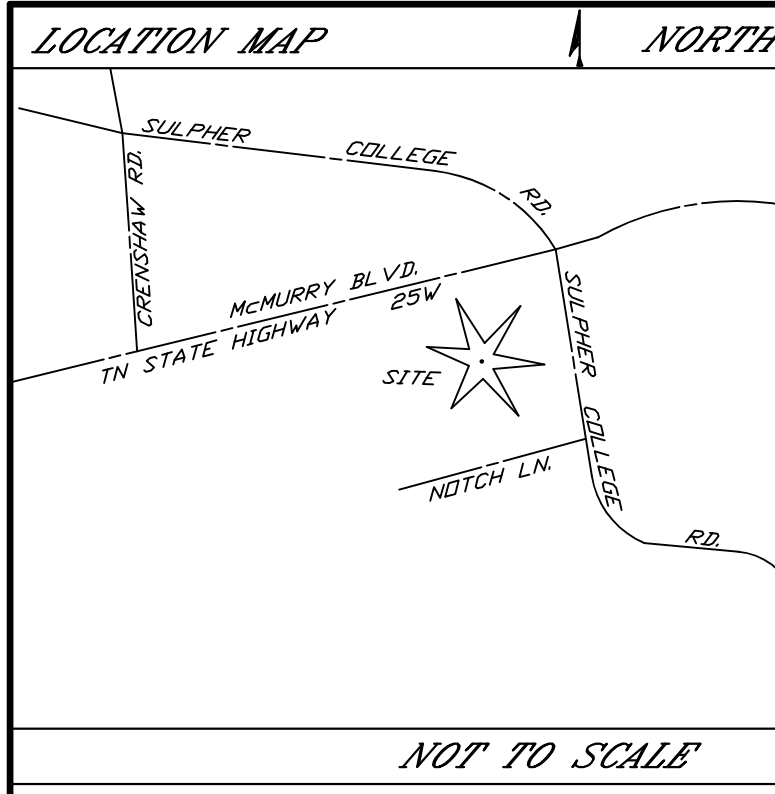
(NOT TO SCALE)

BRIAN GOODWIN, P.E.  
CIVIL/STRUCTURAL  
ENGINEERING

SULPHUR COLLEGE  
ESTATES  
WATER DETAILS

UD3

N.T.S.



**CERTIFICATE OF OWNERSHIP AND DEDICATION**  
 I (we) hereby certify that I (we are) the owners of the property shown hereon as evidenced in P.D. Record Book 6 Page 106, County Register's Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public ways, utilities, and other facilities have been filed.  
 Date: \_\_\_\_\_ Owner: \_\_\_\_\_  
 Title: \_\_\_\_\_ (if acting for partnership or corporation)

**CERTIFICATE OF ACCURACY**  
 I hereby certify that to the best of my knowledge and belief this is a true and accurate survey of the property shown hereon, that this is a Class I Land Survey, as defined in Title 62, Chapter 10, Tennessee Code Annotated, and that the ratio of precision is greater than or equal to 1/10,000.  
 Date: \_\_\_\_\_ Registered Surveyor No. 1628

**CERTIFICATE OF THE APPROVAL OF WATER SYSTEM**  
 I hereby certify that the water system(s) outlined or indicated on the final subdivision plat entitled Final Plat of Sulphur College Estates have been installed in accordance with current local and state government requirements or a sufficient bond or other surety has been filed to guarantee said installation.  
 Date: \_\_\_\_\_ Authorized Signature \_\_\_\_\_  
 Title: \_\_\_\_\_ Agency of Authorized Approving Agent

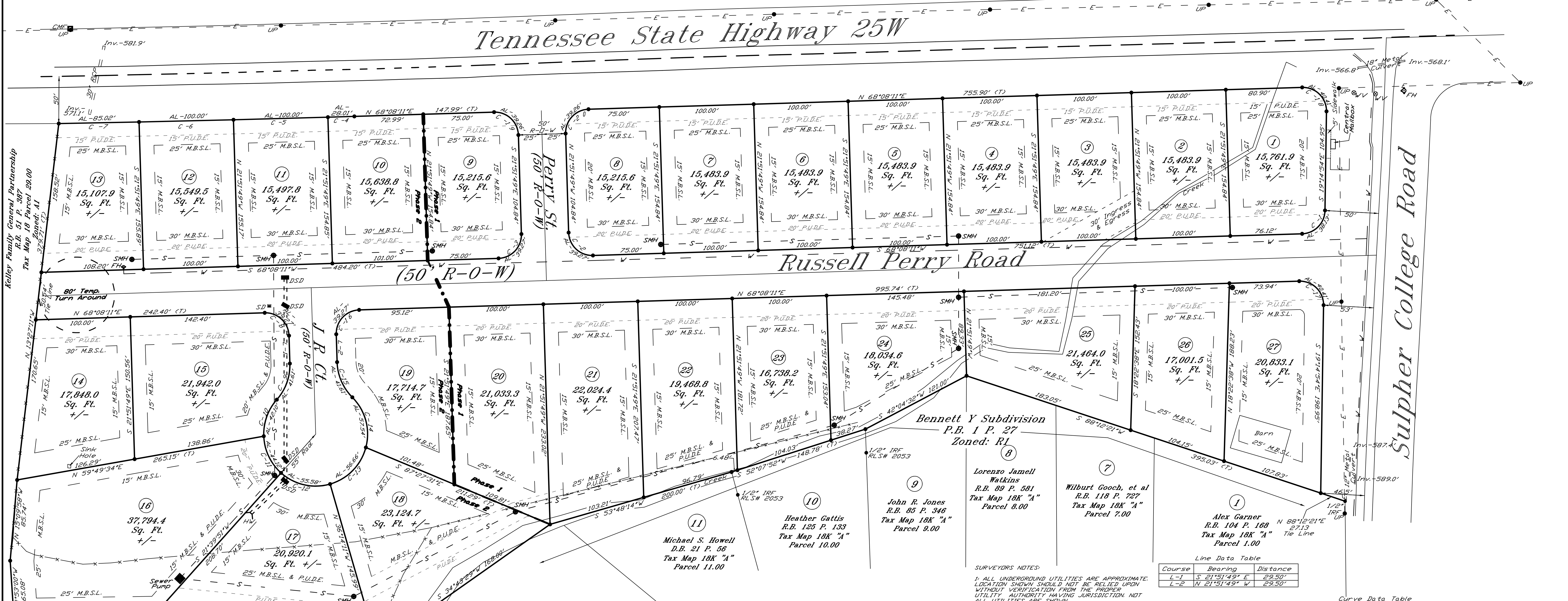
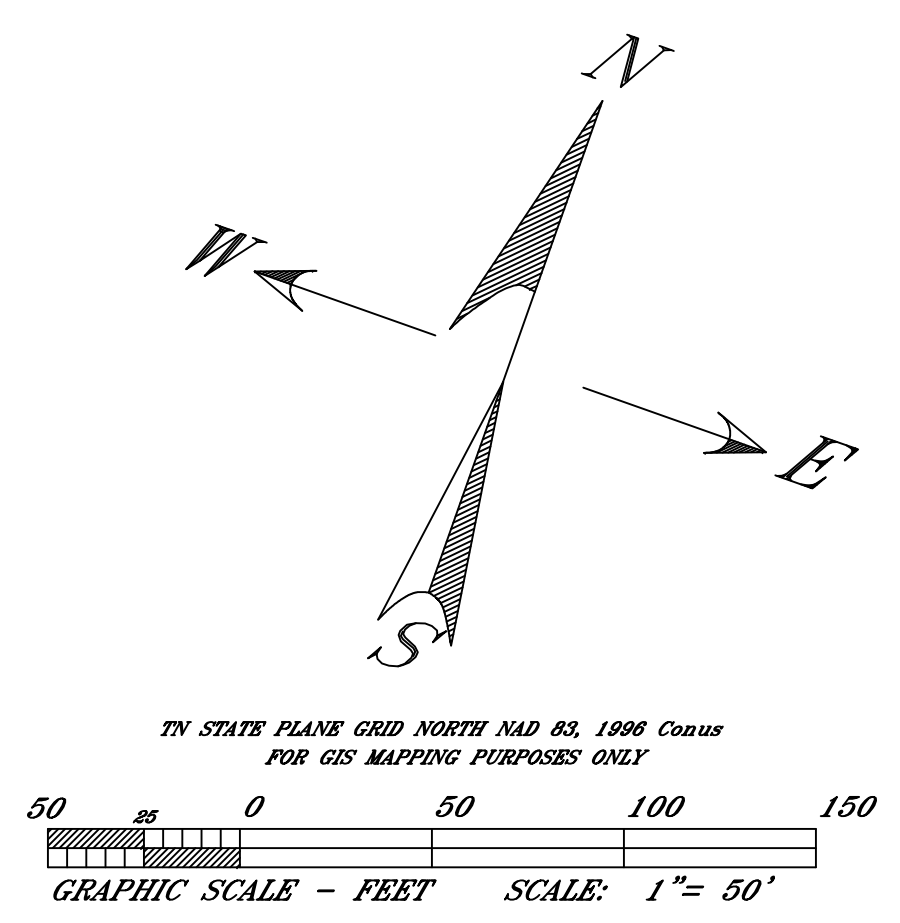
# Final Plat on Sulphur College Estates 7th Civil District Trousdale County, Tennessee

- Legend**
- 1/2" IRON RE-BAR SET UNLESS OTHERWISE NOTED
  - E ELECTRIC LINE
  - G GASLINE
  - W WATERLINE
  - S SEWER LINE
  - WM WATER METER
  - SD STORM DRAIN
  - UP UTILITY POLE
  - FH FIRE HYDRANT
  - SMH SEWER MANHOLE
  - WV WATER VALVE
  - CONCRETE MONUMENT FOUND
  - CP CORNER POST
  - IRF IRON RE-BAR FOUND
  - M.B.S.L. MINIMUM BUILDING SETBACK LINE
  - P.U.D.E. PUBLIC UTILITY DRAINAGE EASEMENT

**CERTIFICATE OF THE APPROVAL OF SEWER SYSTEM**  
 I hereby certify that the sewer system(s) outlined or indicated on the final subdivision plat entitled Final Plat of Sulphur College Estates have been installed in accordance with current local and state government requirements or a sufficient bond or cash has been filed which will guarantee said installation.  
 Date: \_\_\_\_\_ Authorized Signature \_\_\_\_\_  
 Title: \_\_\_\_\_ Agency of Authorized Approving Agent

**CERTIFICATE OF THE APPROVAL OR BONDING OF ROADS**  
 I hereby certify (1) that all designated public ways on this final subdivision plat have been installed in an acceptable manner and according to the specifications of the Trousdale County Subdivision Regulations, or (2) that a performance bond or other surety has been posted with the planning commission to guarantee completion of all required improvements in case of default.  
 I applies.  
 Date: \_\_\_\_\_ Authorized Signature \_\_\_\_\_

**CERTIFICATE OF APPROVAL FOR RECORDING**  
 I hereby certify that the subdivision plat shown hereon has been found to comply with the Trousdale County Subdivision Regulations, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission, and that it has been approved for recording in the Office of the County Register.  
 Date: \_\_\_\_\_ Secretary, Planning Commission



**Prepared by:**  
 Richard D. Graves  
 Land Surveying  
 1768 New Highway 52  
 Westmoreland, TN 37186  
 Phone: (615) 644-2077  
 Fax: (615) 644-3200

**Lysa Marie Richards**  
 R.B. 66 P. 357  
 Tax Map 18K "A"  
 Parcel 12.00

DEED REFERENCE: R.B. 6 P. 106  
 TAX MAP REFERENCE: MAP 18 PARCEL 4.03  
 I HEREBY CERTIFY THAT THIS PROPERTY SURVEY IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1/10,000 OR BETTER AS SHOWN HEREON. ALL BUILDINGS AND IMPROVEMENTS SHOWN ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.  
 SURVEYOR'S NOTE: ACCORDING TO THE FLOOD INSURANCE RATE MAP PANEL NUMBER 476800 (S&C), EFFECTIVE DATE AUGUST 29, 2010, THIS PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD ZONE.  
 DATE: October 27, 2020  
 RICHARD D. GRAVES, Tenn. R.L.S. No. 1628  
 ZONED: R2 (Setbacks 30' Front, 15' on side, and 25' in rear)  
 TOTAL AREA BEING SUBDIVIDED: 13.48 Acres +/-  
 OWNERS: Billy Davis and wife Rachel Davis  
 375 W. McMurry Blvd.  
 Hartselle, TN 37074



Job # 20155TM

**SURVEYOR'S NOTES:**

- ALL UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATION SHOWN SHOULD NOT BE RELIED UPON WITHOUT VERIFICATION FROM THE PROPER UTILITY AUTHORITY HAVING JURISDICTION. NOT ALL UTILITIES ARE SHOWN.
- THIS SURVEYOR WAS NOT FURNISHED WITH A TITLE SEARCH OR TITLE POLICY, THEREFORE THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH. ONLY THE DOCUMENTS NOTED HEREIN WERE SUPPLIED TO THIS SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS THAT WOULD AFFECT THE SUBJECT PROPERTY. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH. THE SURVEYOR RESERVES THE RIGHT TO REVISE ANY EASEMENTS NOT PROVIDED FOR OR KNOWN OF PER THE DATE OF THIS SURVEY.
- ONLY PAPER COPIES OF THIS SURVEY WITH THE SURVEYOR'S ORIGINAL STAMP AND SIGNATURE WILL CONSTITUTE AN ORIGINAL COPY OF THIS SURVEY.
- SUBJECT TO ANY DRAINAGE THAT MAY CROSS THE PROPERTY DUE TO NATURAL CAUSES.
- SUBJECT TO ANY LEASES, RIGHT-OF-WAYS, RESTRICTIONS, ENCROACHMENTS, EASEMENTS, ETC. THAT MAY EXIST AND/OR APPLY TO THE SUBJECT PROPERTY.
- ALL LOTS SHALL ACCESS NEW INTERIOR ROAD AND SHALL NOT HAVE DRIVEWAYS ON SULPHUR COLLEGE ROAD OR HIGHWAY 25.

Line Data Table

Course	Bearing	Distance
L-1	S 21°51'49" E	29.50'
L-2	N 21°51'49" W	29.50'

Curve Data Table

Curve	Radius	Tangent	Length	Delta	Chord	Chord Bear.
C-1	25.00'	23.89'	38.13'	87°23'05"	34.54'	S 24°26'38" W
C-2	25.00'	25.00'	39.27'	90°00'00"	35.36'	N 66°51'49" W
C-3	25.00'	25.00'	39.27'	90°00'00"	35.36'	S 25°08'11" W
C-4	24,759.61'	14.01'	28.01'	0°03'53"	28.01'	N 68°10'08" E
C-5	24,759.61'	50.00'	100.00'	0°15'53"	100.00'	N 68°19'01" E
C-6	24,759.61'	30.00'	100.00'	0°19'53"	100.00'	N 68°32'94" E
C-7	24,759.61'	42.51'	85.02'	0°11'48"	85.02'	N 68°45'45" E
C-8	25.00'	25.00'	39.27'	90°00'00"	35.36'	S 66°51'49" E
C-9	25.00'	21.85'	41.61'	43°20'30"	40.62'	S 00°11'34" E
C-10	25.00'	22.14'	42.10'	43°51'19"	41.08'	S 00°56'58" E
C-11	25.00'	23.32'	44.12'	45°57'51"	42.94'	S 45°21'24" E
C-12	25.00'	30.42'	55.54'	57°54'02"	53.25'	N 88°42'50" E
C-13	25.00'	31.13'	56.66'	59°01'24"	54.19'	N 24°15'07" E
C-14	25.00'	31.72'	57.94'	59°56'44"	54.95'	N 35°13'57" W
C-15	25.00'	21.85'	41.61'	43°20'30"	40.62'	N 43°32'04" W
C-16	25.00'	25.00'	39.27'	90°00'00"	35.36'	N 23°08'11" E
C-17	25.00'	26.17'	40.41'	46°36'55"	36.15'	S 65°33'25" E
C-18	25.00'	26.17'	40.41'	46°36'55"	36.15'	S 65°33'25" E
C-19	25.00'	25.00'	39.27'	90°00'00"	35.36'	S 66°51'49" E
C-20	25.00'	25.00'	39.27'	90°00'00"	35.36'	N 23°08'11" E

HARTSVILLE/TROUSDALE COUNTY  
Sam Edwards | Zoning & Building Inspector  
328 Broadway, Room 1 | Hartsville, TN 37074  
office (615) 374-1125 | fax (615) 374-0558

**ZONING CHANGE**

**PARCEL INFORMATION**

Current Zoning C-2 Requested Zoning C-2/R-2 Reason Subdivision  
Property Owner Carole, Darrell Carmon/Kathy Andrews/Karen A Phone (615) 374-3344  
Property Address McMurry Blvd TN  
Lot Size 20.08 Road Frontage \_\_\_\_\_ ft. Easements \_\_\_\_\_ ft  
Tax Map Number 19 Group \_\_\_\_\_ Parcel 5.04 Record/Deed Book \_\_\_\_\_  
Subdivision Name \_\_\_\_\_ Phase \_\_\_\_\_ Lot # \_\_\_\_\_  
Water Source Hartsville Sewer or Septic Sewer

**APPLICANT INFORMATION**

Applicant Name Carole Carman Phone (615) 374-3344  
Mailing Address 150 Middle Fork, Hartsville TN 37074  
Email: \_\_\_\_\_

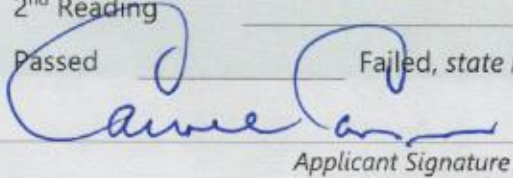
**IMPACT INFORMATION**

Zoning of Surrounding Properties C-2, A-1  
Names of Surrounding Property Owners Andrew Welch, Seth Blankenship,

Affected Roads McMurry Blvd  
Schools Affected Trousdale County High School  
Public Utilities Sewer, Gas, Water

**ACTION TAKEN**

Reviewed by Planning Commission \_\_\_\_\_ Action \_\_\_\_\_  
Reviewed by BZA \_\_\_\_\_ Action \_\_\_\_\_  
Zoning Ordinance at County Commission  
1<sup>st</sup> Reading \_\_\_\_\_ Action \_\_\_\_\_  
Public Hearing \_\_\_\_\_ Action \_\_\_\_\_  
2<sup>nd</sup> Reading \_\_\_\_\_ Action \_\_\_\_\_  
Passed \_\_\_\_\_ Failed, state reason \_\_\_\_\_

  
Applicant Signature

02/23/2021

Date Submitted

**\$100 Application fee**

Trousdale County - Parcel: 019 005.04



Date: March 1, 2021  
County: Trousdale  
Owner: ANDREWS KATHY ETAL  
Address: HWY 25 W  
Parcel Number: 019 005.04  
Deeded Acreage: 20.08  
Calculated Acreage: 0  
Date of Imagery: 2017

Esri, HERE, Garmin, (c) OpenStreetMap contributors  
TN Comptroller - OLG  
TDOT  
State of Tennessee, Comptroller of the Treasury, Office of Local Government  
(OLG)

The property lines are compiled from information maintained by your local county Assessor's office but are not conclusive evidence of property ownership in any court of law.

